



**Planning Commission
Regular Meeting
October 18, 2016
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF SEPTEMBER 20, 2016 MINUTES
5. CORRESPONDENCE / BOARD REPORTS
6. APPROVAL OF AGENDA
7. Public Comment: Restricted to (3) minutes regarding issues not on this agenda
8. **New Business**
 - A. SPR 2016-13: Lockey USA
Location: 4245 S Lincoln Road
 - B. SPR 2016-14: International RV
Location: 5365 E. Pickard Road
 - C. SPR 2016-15: Doug's Small Engine
Location: 1875 Airway Drive
 - D. SPR 2016-16: Lux Funeral Home
Location: 2300 S. Lincoln Road
 - E. SPR 2016-08 Messenger
Location: S. Isabella Road
9. Old Business
10. Other Business
11. Extended Public Comment
12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on September 20, 2016 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Fuller, Mielke, Strachan, Squattrito, Woerle, Zerbe

Excused: LaBelle, McGuirk, and Robinette

Others Present

Peter Gallinat, Township Planner, Mark Stuhldreher, Township Manager & Jennifer Loveberry

Approval of Minutes

Woerle moved **Strachan** supported the approval of the August 30, 2016 meeting minutes with corrections. **Vote: Ayes: 6 Nays: 0. Motion carried.**

Correspondence / Reports

Board of Trustees – Mielke stated that he informed the Board of Trustees additional funds may be needed for Master Plan update.

ZBA – Woerle gave updates from the 9/7/16 meeting.

Approval of Agenda

Fuller moved **Woerle** supported approval of the agenda with changes – moved SPR 2016-12 to Old Business. **Vote: Ayes: 6 Nays 0. Motion carried.**

Public Comment – Open 7:07 p.m.

Tim Coscarelly, 1210 Windrow Way –Access Management Plan for long term safety on Isabella and Bluegrass Roads.

New Business

Old Business

A. SPR 2016-12: Union Shoppes
Location: 4455 E. Bluegrass Rd.

This item was tabled at the August 30, 2016 Special Meeting. Fuller recused himself due to a conflict of interest citing section 5.005 (Conflict of interest) item B: member has a business/financial interest in the property involved in the request or has a business/financial interest in the applicant's company, agency or association. The Planning Commission accepted his recusal. In the absence of Fuller, Zerbe was named as Secretary Pro Tem.

Zerbe moved **Strachan** supported to take from the table SPR 2016-12: Union Shoppes.
Vote: Ayes: 5 Nays 0. Motion carried.

Township Planner Gallinat stated the applicant's site plan review that was approved in May 2016 has now changed, thus requiring a new site plan review for the proposed 10,000 sq. ft. building with three proposed tenants. One tenant being Kay Jewelers and the other two

unknown at this time; however, all three are proposed retail. Gallinat confirmed that he has received approvals from the County Drain Office regarding storm water management, Isabella County Road Commission, Isabella County Transportation Commission, Township Utilities, and the Mt Pleasant Fire Department.

Tim Beebe, CMS& D presented SPR 2016-12 addressing the required missing items: 12.2D Elevation of building front, side and back, 12.2.C Exterior lighting on buildings and parking lots, 12.2.P The location of all existing and proposed structures on and within one hundred feet of the subject properties boundary (if any), 12.2.N The location and detailed description of landscaping (if any), and 12.2.K A locational sketch drawn to scale giving the section number and the nearest crossroads(not to scale and section number not shown). He stated that all items have been corrected. Corrections were also made regarding tenant c parking count from eight (8) to thirteen (13).

Discussion was held by the Planning Commissioners.

Andy Wenzel and his attorney, Dave Smith, and Tim Coscarelly addressed the Planning Commissioners.

Zerbe moved **Strachan** supported to approve SPR 2016-12 Union Shoppes site plan review with the condition that sidewalks are temporarily waived on the west portion (vacant parcel) until December 31, 2017 or in conjunction with future development of an approved site plan approved by that date; however as part of approval, an ADA landing area is required to be built on the vacant west parcel at the time of construction.. **Vote: Ayes: 5 Nays 0. Motion carried.**

8:11 p.m. Fuller rejoined the Planning Commission.

B. Master Plan – Recommendation to the Board of Trustees of One of the Three (3) Firms from RFP

Woerle moved **Zerbe** supported to accept the bid from LSL, as well as, recommending to the Board of Trustees their proposal for reviewing and revising of the Charter Township of Union’s Master Plan. **Vote: Ayes: 6 Nays 0. Motion carried.**

Other Business

Extended Public Comment –open 8:16 p.m.

No comments.

Adjournment – Chairman Squattrito adjourned the meeting at 8:17 p.m.

APPROVED BY:

Alex Fuller - Secretary

(Recorded by Jennifer Loveberry)



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

10/13/16

TO: Planning Commission
FROM: Township Planner

SUBJECT: SPR 2016-13 Lockey USA

Location: 4245 S LINCOLN RD Mt Pleasant, MI 48858

Current Zoning: R-1 One-Family Residential District

Adjacent Zoning: R-1 to the north, R-1 to the east, Agriculture to the west across the road, R-1 to the south.

Future Land Use/Intent: Agriculture A-3/Buffer existing agriculture or undeveloped land from development. Desired uses in this area follow the existing zoning

Current Use: Corporate office/Distribution center

Reason for Request: 1,152sqft addition on the west part of existing structure and 1,084sqft addition on the north of existing structure for office and storage space.

History: Applicant requested a variance from the Zoning Board of Appeals from section 9.2 of the zoning ordinance. The ZBA granted two separate variances. The first was to decide the change of one non-conforming use to another non-conforming use. The ZBA voted that the change of use from a fitness gym to a corporate office/distribution center would markedly decrease the degree of nonconformance and would enhance the desirability of the adjacent conforming uses. The other variance was to decide if the additions to the building would be allowed. The ZBA voted that the structural additions would not increase or enlarge the degree or manner of nonconformance. Both variances were granted and applicant was allowed to move ahead with a site plan review.

Objective of board: Approve the site plan for Lockey USA

Items missing:

12.2.C. location of existing sign

12.2.K. A locational sketch drawn to scale giving the section number and the nearest crossroads (not to scale and section number not shown).

10.2.A. location of loading area

12.2.H. location of screened dumpster if used

12.2.L. Zoning of subject property and abutting properties

12.2.A. Scale on pages that are 1" = 10' need to be between 1" = 20' and 1" = 40'

12.2.D. East and south elevations need to be shown

Section 12.2 states that the planning commission may waive in whole or in part these requirements. I have asked the applicant to add these items and bring 10 copies to the planning commission meeting for approval.

Recommendation: Site Plan has been reviewed and approved by Isabella County Transportation Commission. Isabella County Road Commission, Isabella County Drain Office for Storm Water Management, Mt Pleasant Fire Department, Twp Utilities (note additional construction drawings may be needed for Twp Utilities final approval after the site plan has been approved) I have no other zoning issues with the site plan in accordance with Section 12, Section 10, Section 9 or Section 14 of the zoning ordinance.

Recommend Approval of SPR 2016-13

Following Conditions:

- Sidewalks installed along Lincoln Rd.
- Items missing above added from page 1

SUBJECT: **SPR 2016-14 International RV**

Location: 5365 E. Pickard Rd. Pleasant, MI 48858

Current Zoning: B-7 Retail and Service Highway Business District

Adjacent Zoning: B-7 to the north, B-7 to the east, Agriculture to the west, B-7 to the south across the road.

Future Land Use/Intent: Commercial-Shopping, office and professional services with mixed residential uses

Current Use: Retail sale of trailers

Reason for Request: Proposed Asphalt paving

History: The Planning Commission reviewed a site plan for this site last year. That plan entailed a new proposed building. Sidewalks at that time were waived along Airway Drive.

Objective of board: Approve the site plan for International RV

Recommendation: Site Plan has been reviewed and approved by Isabella County Transportation Commission. Isabella County Road Commission, Isabella County Drain Office for Storm Water Management, Mt Pleasant Fire Department, Twp Utilities (note additional construction drawings may be needed for Twp Utilities final approval after the site plan has been approved) I have no other zoning issues with the site plan in accordance with Section 12, Section 10, Section 24.4 or Section 25 of the zoning ordinance.

Recommend Approval of SPR 2016-14

Following Conditions:

- Sidewalks installed along Airway Drive

SUBJECT: SPR 2016-15 Doug’s Small Engine

Location: 1875 Airway Drive. Pleasant, MI 48858

Current Zoning: B-7 Retail and Service Highway Business District

Adjacent Zoning: R-2A to the north, B-7 to the east, Agriculture to the west, B-7 to the south across the road.

Future Land Use/Intent: Commercial-Shopping, office and professional services with mixed residential uses

Current Use: Residential home on property with 3 accessory buildings (nonconforming)

Reason for Request: Proposed 8,960sqft structure for office and storage. 1,040sqft block structure will be kept. Other two existing accessory structures will be demolished.

History: The Planning Commission reviewed a site plan for this site last year. That plan entailed a new proposed building. Sidewalks at that time were waived along Airway Drive.

Objective of board: Approve the site plan for International RV

Recommendation: Site Plan has been reviewed and approved by Isabella County Transportation Commission. Isabella County Road Commission, Isabella County Drain Office for Storm Water Management, Mt Pleasant Fire Department, Twp Utilities (note additional construction drawings may be needed for Twp Utilities final approval after the site plan has been approved) I have no other zoning issues with the site plan in accordance with Section 12, Section 10, Section 24.4 or Section 25 of the zoning ordinance. Approval of plan will bring structure into conformance with permitted uses allowed in Section 25.2

Recommend Approval of SPR 2016-15

Following Conditions:

- Sidewalks installed along Airway Drive

SUBJECT: SPR 2016-16 Lux Funeral Home

Location: 2300 S. Lincoln Rd. Pleasant, MI 48858

Current Zoning: R-2A One and Two-Family District

Adjacent Zoning: R-2A to the north, B-7 to the east, Agriculture to the west, B-7 to the south across the road.

Future Land Use/Intent: Commercial-Shopping, office and professional services with mixed residential uses

Current Use: Funeral home (Special Use Permit)

Reason for Request: Proposed 2,132sqft structure for public gatherings

History: The Planning Commission reviewed a site plan for this site in February of this year for the same type of use. The difference now is the applicant has proposed to reduce the size of the proposed structure from 3,768sqft to 2,132sqft. Applicant was granted a Special Use Permit for the public gathering reception area in January of this year.

Objective of board: Approve the site plan for Lux Funeral Home

Recommendation: Site Plan has been reviewed and approved by Isabella County Transportation Commission, Isabella County Road Commission, Isabella County Drain Office for Storm Water Management, Mt Pleasant Fire Department, Twp Utilities (note additional construction drawings may be needed for Twp Utilities final approval after the site plan has been approved) I have no other zoning issues with the site plan in accordance with Section 12, Section 10, Section 30 or Section 15 of the zoning ordinance.

I would recommend approval of SPR 2016-16
No other conditions

SUBJECT: **SPR 2016-08 Messenger Medical**

History: An application for a site plan review was received at the Township on May 13, 2016. The applicant was Dr. Messenger. The application stated that Dr. Messenger was the land owner. The location of the parcel is the NW corner of Isabella and High street. The site pertained to the NE corner of the parcel. The project was the construction of a doctor's office. The Planning Commission approved the site plan on July 19, 2016

On approximately October 6, 2016 the Township was notified by representatives of the Paras Group LLC that unauthorized construction was occurring on the parcel/site described above. Upon further investigation, it was determined that the parcel in question is owned by the Paras Group LLC and not owned by Dr. Messenger. Based on this determination, a Stop Work Order was issued by the Township Building Official on October 10, 2016 and the building permit was revoked on October 11, 2016. We have posted the Stop Work Order on the site and delivered same, along with a letter revoking the building permit, to the contractor.

Objective of the board: Declare by vote that Site Plan 2016-08 Messenger Medical Center on S. Isabella 14-014-40-002-02 as no longer valid.

Peter Gallinat

Twp Planner

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name LOCKEY USA
- III. Applicant Address 4245 S. LINCOLN ROAD, MT. PLEASANT, MI 48858
- IV. Applicant Phone 989-773-2363 Owner Phone _____
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V & VI)
Other _____
- VI. Land Owner Name SAME AS ABOVE
- VII. Land Owner Address _____
- VIII. Project/Business Name LOCKEY PROPOSED BUILDING ADDITION
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	✓	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	✓	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	✓	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	✓	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)		Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	✓	
Name and Address of Applicant	✓	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	

Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓ ✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - -	✓	
drives, -----	✓	
sidewalks, (required) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	✓	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	
common use areas, -----	✓	
areas to be conveyed for public use and purpose. -	✓	
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	

Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N.A.	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N.A.	

APPLICANT COMMENTS

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

[Handwritten Signature] - Owner Agent
Signature of Applicant

8/1/16
Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE AUGUST 16, 2016 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative **WILL** WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

<u>Township use</u>	<u>Review Comments</u>
File # <u>SPR 2016-15</u>	_____
Fee Paid initial <u>yes/20</u>	_____
Receipt # <u>75308</u>	_____
Date received <u>9-22-16</u>	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: LOCKEY USA

Name of business owner(s): DOUG HILL

Street and mailing address: 4245 SOUTH LINCOLN ROAD, MT. PLEASANT, MI 48858
989-773-2363

Telephone: _____

Fax: 989-772-1936

Email: info@lockeyusa.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:

D. Hill - Owner Agent

Information compiled by:

Shanee Thayer, Central Michigan Surveying and Development Co. Inc.

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N ~~Will the facility be located on-site?~~
3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 <u>Construction Permit Program</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous Waste Section, Treatment, Storage and Disposal</u>
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply, DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Appropriate DEQ District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section, or appropriate DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP or Appropriate DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade Iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

CHARTER TOWNSHIP OF UNION
Zoning Board of Appeals
Regular Meeting

A regular meeting of the Charter Township of Zoning Board of Appeals was held on September 7, 2016 at 7:00 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Warner moved Woerle supported to name Darin as Secretary Pro Tem in the absence of Secretary McCracken for the September 7, 2016 Zoning Board of Appeals Meeting. Vote: Ayes: 5 Nays: 0. Motion carried.

Roll Call

Present: Mike Darin, Bill Hauck, Jake Hunter, Tim Warner, and Norm Woerle

Excused: Bill McCracken

Others Present

Peter Gallinat, Mark Stuhldreher, Jennifer Loveberry, and alternate ZBA member Paul Gross

Approval of Minutes

B. Hauck moved Hunter supported the approval of the June 1, 2016 minutes as presented. Vote: Ayes: 5 Nays 0. Motion carried.

Correspondence / Board Reports

Woerle gave updates from the Planning Commission.

Approval of Agenda

Darin moved B. Hauck supported to approve the agenda adding public hearing before Item A. Vote: Ayes: 5 Nays 0. Motion carried.

Board Agenda

- A. Variance 2016-01 Lockey USA
Location: 4245 S. Lincoln Rd.

Public Notice was read by Township Planner, Gallinat as well as a brief history of the property.

Tim Beebe, CMS&D on behalf of the applicant presented the request for the variance: 1) to correct change of use and 2) to allow for improvements to the existing structure (allow new office space to be added, giving the street site of the building a face lift, and converting existing interior office space into needed warehouse space. Option 2 was presented to the Zoning Board of Appeals, see attached exhibit A.

Public Hearing open 7:22 p.m.

Joe Fleming, Konwinski Construction, explained structural changes.

Scott Wojcik, Director of Sales at Lockey USA, explained the business of Lockey USA, explained need for space in the building.

Gallinat reported that he did not receive any comments from the public.

Public Hearing closed 7:25 p.m.

Discussion was held by the board. Their objective is first to determine if the new non-conforming use (Corporate office distribution warehouse) would markedly decrease the degree of nonconformance and would enhance the desirability of adjacent conforming uses. Secondly, would be to determine if the building improvements would not increase or enlarge the degree or manner of nonconformance.

Woerle moved **Hunter** supported to approve the continued non conforming use as it is decreasing the degree and manner of non conformance. Vote: Ayes: 5 Nays 0. **Motion carried.**

Hunter moved **B. Hauck** supported to approve variance 2016-01 Lockey USA, option 2, as the expansion does not increase the degree and manner of non conformance in the area. Vote: Ayes: 3 Nays 2. **Motion carried.**

Chair Warner stated that there would be a 21 day appeal period before the decision is final.

Public Comment: Restricted to (3) minutes regarding issues not on this Agenda

Tim Beebe – Commented that this parcel should be looked at by the Planning Commission when they review the future land use map.

EXTENDED PUBLIC COMMENT

No comments

ADJOURNMENT

Chair Warner adjourned the meeting at 8:41 p.m.

APPROVED BY:

Bill McCracken –Secretary

(Recorded by Jennifer Loveberry)

LOCKEY SITE PLAN

NO changes required to existing driveway.
MISC ROW Permit for H2O line extension. See page 4 of 5 for comments.
SITE PLAN APPROVED AS NOTED



LOCATION MAP
SCALE: NONE

ZONED R-1 ONE FAMILY RESIDENTIAL	
MINIMUM LOT AREA	43,560 SQ. FT.
MINIMUM LOT WIDTH	150 FT
MAXIMUM STRUCTURE HEIGHT	35 FT
MINIMUM FRONT YARD SETBACK	50 FT
MINIMUM SIDE YARD SETBACK	(D)
MINIMUM REAR YARD SETBACK	50 FT

(D) For one-family dwellings there shall be two (2) side yards. No side yard shall be less than ten (10) percent of the required lot width. For all other uses there shall be two (2) side yards with no side yard less than thirty (30) feet

MISS DIG:
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND	
SYMBOLS	
○ BOLLARD	⊠ GAS RISER
▤ CATCH BASIN (CURB INLET)	⊙ GUY ANCHOR
⊙ CATCH BASIN (ROUND)	⊗ HYDRANT - EXISTING
⊠ CATCH BASIN (SQUARE)	⊗ HYDRANT - PROPOSED
○ CLEAN OUT	☆ LIGHT POLE
→ DRAINAGE FLOW	☐ MAILBOX
⊠ ELECTRICAL BOX	⊙ MONITORING WELL
● FOUND CONC. MONUMENT	⊙ SANITARY SEWER MANHOLE
○ FOUND IRON	● SET IRON
⊗ GAS MAIN VALVE	⊠ SIGN
⊙ SOIL BORING	⊙ STORM SEWER MANHOLE
⊠ TELEPHONE RISER	⊙ TREE - CONIFEROUS
● TREE - DECIDUOUS	⊙ UTILITY POLE
⊙ WATER MAIN VALVE	⊙ WATER SHUT-OFF
⊙ FLOOD LIGHT	⊙ GAS METER

LINE TYPES	
—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
---DITCH---CL---	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
---RD---CL---	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
---EX---TOS---	TOE OF SLOPE
---EX---TOB---	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS	
[Hatch Pattern]	ASPHALT - EXISTING
[Hatch Pattern]	ASPHALT - PROPOSED
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	GRAVEL
[Hatch Pattern]	LANDSCAPING
[Hatch Pattern]	RIP-RAP
[Hatch Pattern]	EXISTING BUILDING

SHEET INDEX	
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	GRADING, HORIZONTAL AND SITE PLAN
4	WATER MAIN PLAN & PROFILE
5	CONSTRUCTION DETAILS

BENCHMARK:
BENCHMARK MARKER ON POWER POLE ON EAST SIDE OF S. LINCOLN ROAD, BENCHMARK ELEVATION 809.44

BEARING BASIS:
THE WEST SECTION LINE BETWEEN THE NORTHWEST CORNER AND THE WEST 1/4 CORNER WAS TAKEN AS S00°39'28"E FROM CMS-D PROJECT NO. 1501-010, DATED 2/13/15.

SITE: LOCKEY
4245 SOUTH LINCOLN ROAD
MT. PLEASANT, MI 48858

DEVELOPER: KONWINSKI CONSTRUCTION
1800 GOVER PARKWAY
MT. PLEASANT, MI 48858
CONTACT PERSON: JOE FLEMING
PHONE: (989) 773-2906
FAX: (989) 773-5661
EMAIL: info@konwinskiconst.com

CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 773-0756
FAX: (989) 773-5012
EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDD
kimberly.studd@cmsenergy.com

FRONTIER
345 PINE STREET
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@fr.com

DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERISIE
mckersiem@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT
804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

CHARTER TOWNSHIP OF UNION
PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@unionshipmi.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 773-0911
RICK JAKUBIEC
drain@isabellacounty.org

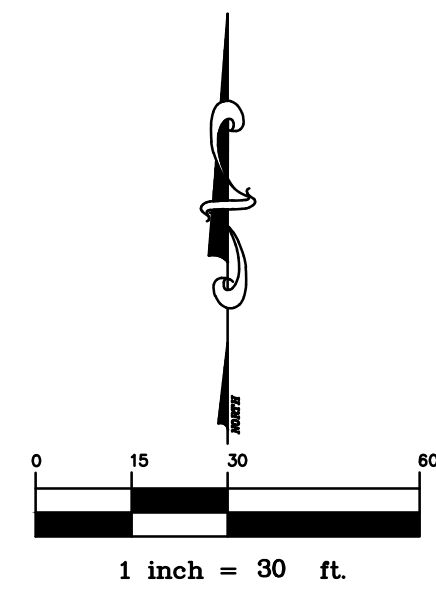
ISABELLA COUNTY ROAD COMMISSION
2261 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
PGaffney@isabellaroads.com

CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
MT. PHONE: (989) 773-0756
FAX: (989) 773-5012
EMAIL: info@cms-d.com

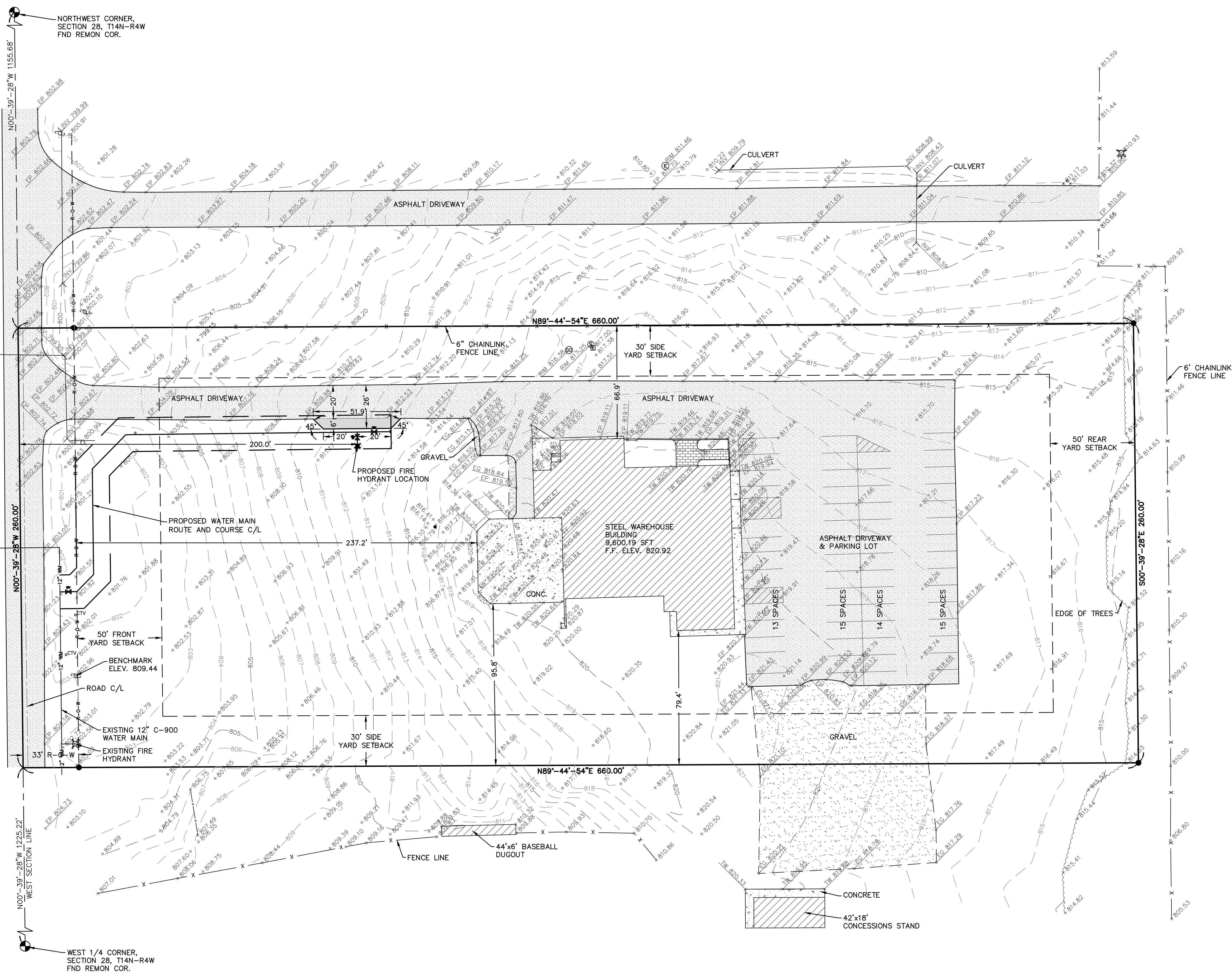


COVER SHEET
LOCKEY
PART OF THE NORTHWEST 1/4 OF SECTION 28,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:	REVISOR:	DATE:
REVISED 9-2-16 PER M.P.F.D. REVIEW		
SUBMITTALS:	DATE:	BY:
SUBMITTAL TO UNION TOWNSHIP 7-31-16		
SUBMITTAL TO UNION TOWNSHIP 9-6-16		
JOB NUMBER:	SCALE:	SHEET NUMBER
1607-097	1" = 30'	1 OF 5
DRAWN BY:	DESIGNED BY:	TITLE
RL	TELB	CHECKED BY:
	TELB	




4245 S. LINCOLN ROAD
(23' ASPHALT, 66' R-O-W)



NORTHWEST CORNER,
SECTION 28, T14N-R4W
FND REMON COR.

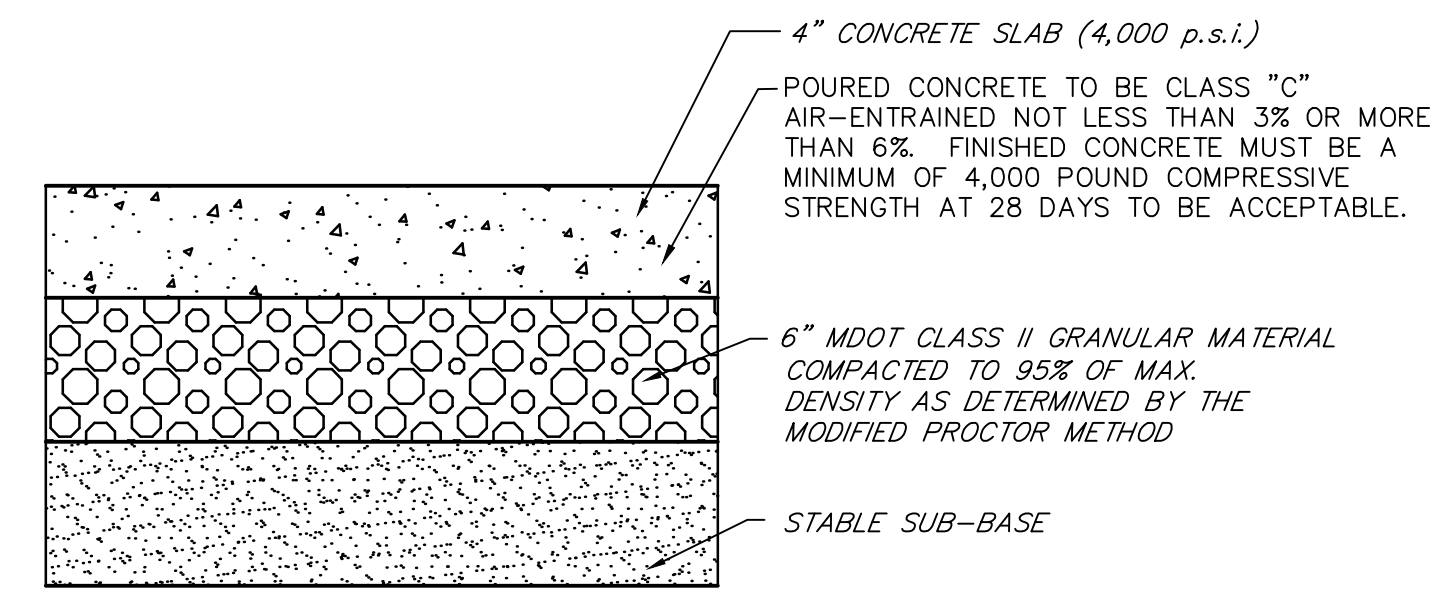
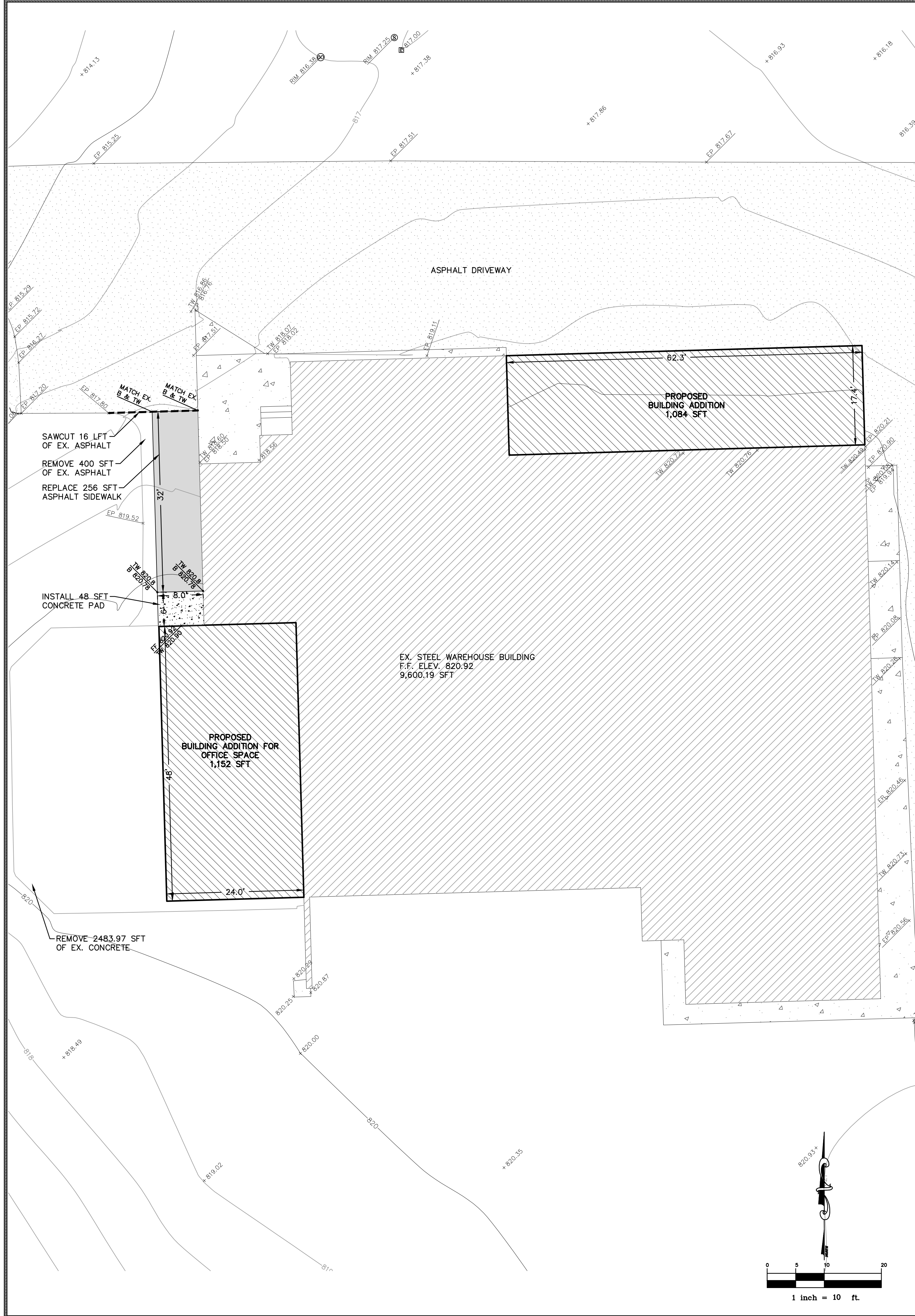
WEST 1/4 CORNER,
SECTION 28, T14N-R4W
FND REMON COR.

CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET, SUITE C
MT. PLEASANT, MICHIGAN 48858
MT. PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

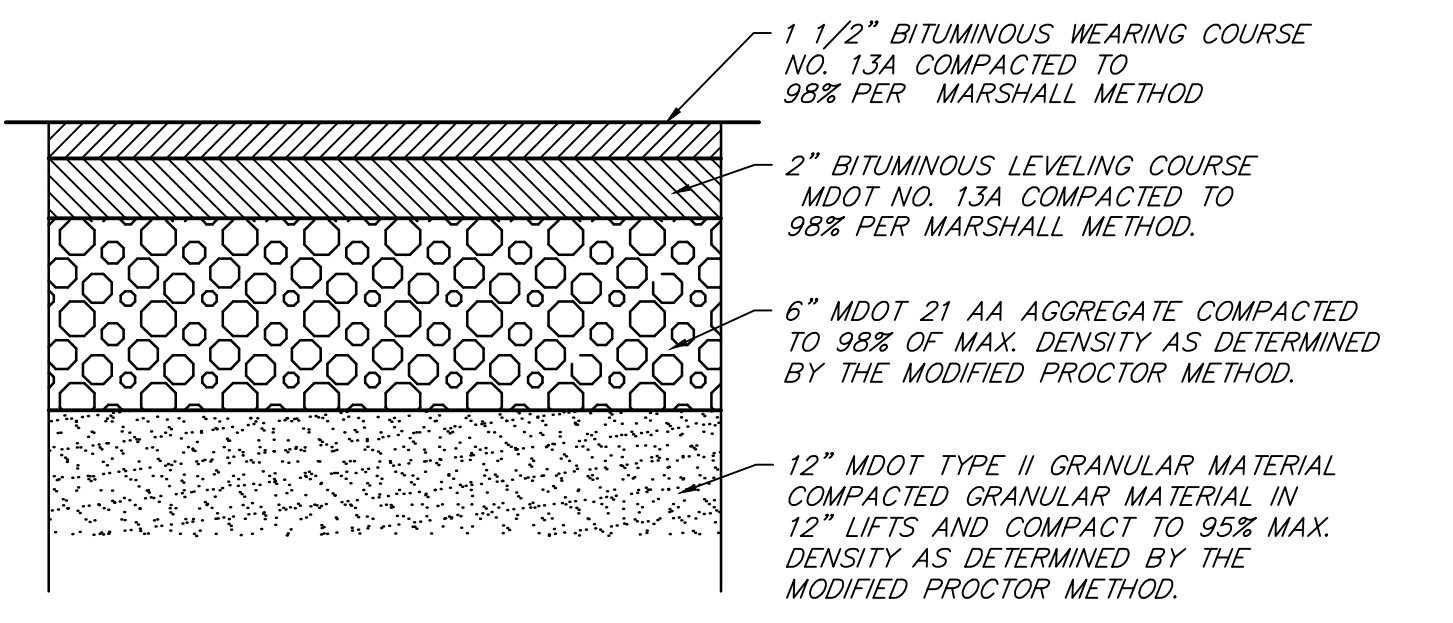


TOPOGRAPHIC SURVEY
LOCKEY
PART OF THE NORTHWEST 1/4 OF SECTION 28,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

SCALE	1" = 30'
JOB NUMBER:	1607-097
DRAWN BY:	RLI
DESIGNED BY:	TELB
CHECKED BY:	TELB
SUBMITTALS:	SUBMITTAL TO UNION TOWNSHIP 7-31-16 SUBMITTAL TO UNION TOWNSHIP 9-6-16
REVISIONS:	REVISED 9-2-16 PER M.P.F.D. REVIEW



CONCRETE SIDEWALK CROSS-SECTION
NOT TO SCALE



PARKING LOT ASPHALT PAVEMENT CROSS-SECTION
NOT TO SCALE

PARKING CALCULATIONS:

EXISTING WAREHOUSE ORD. 10.2.B.16 1 SPACE FOR EVERY 500 SFT 9,600.19 SFT / 500 SFT = 19.2 = 20 SPACES
PROPOSED ADDITION ORD. 10.2.C.1 1 SPACE FOR EVERY 200 SFT 2,236 SFT / 200 SFT = 11.18 = 12 SPACES
32 SPACES ARE REQUIRED FOR EXISTING AND PROPOSED 57 SPACES EXIST ON THE SITE. SEE TOPOGRAPHIC SURVEY FOR LOCATION.

GENERAL NOTES:

THE SANITARY SEWER AND WATERMAIN MUST CONFORM TO THE UNION TOWNSHIP STANDARDS AND SPECIFICATIONS. SHOULD THERE BE A CONFLICT BETWEEN THE PLANS, NOTES, DETAILS AND SPECIFICATIONS, THE UNION TOWNSHIP STANDARDS SHALL GOVERN. THE CONTRACTOR WILL NOTIFY THE ENGINEER AS SOON AS A CONFLICT IS FOUND. INSTALLATION OF THESE UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS.

ELECTRIC SERVICES TO THE BUILDING AND PARKING LOT LIGHTING SHALL BE UNDERGROUND. SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR IN REGARDS TO CONDUIT SLEEVES.

ALL SERVICE LINES ARE SHOWN FOR REFERENCE ONLY. THE EXACT LOCATIONS TO BE DETERMINED BY THE OWNER AND/OR UTILITY COMPANY.

INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES (INCLUDING TRANSFORMER PAD LOCATIONS) SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANIES AND THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS REQUIRED FOR WORKING WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMMENCING CONSTRUCTION, WITHIN THESE AREAS.

ROOF WATER FROM THE PROPOSED BUILDING SHALL BE COLLECTED AND CONNECTED TO THE PROPOSED HEADERS AND/OR LEADS ALONG THE BUILDING. COORDINATION WITH THE BUILDING CONTRACTOR PRIOR TO INSTALLATION OF THE HEADERS AND/OR LEADS IS REQUIRED.

THE PROPOSED ELEVATIONS SHOWN ARE TOP OF WALK, TOP OF CURB, FINISHED ASPHALT SURFACE AND GUTTER PAN ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE UNION TOWNSHIP STANDARDS.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MICHIGAN, COUNTY OF ISABELLA AND UNION TOWNSHIP.

SITE CONCRETE PADS SHALL BE 4000 PSI AND REINFORCED WITH 6X6 W2.9 X W2.9. THICKNESS OF CONCRETE SHALL CONFORM TO THE PLANS. THE CONCRETE PADS ADJACENT TO THE BUILDING SHALL BE TAKEN OFF FROM THE ARCHITECTURAL PLANS AND THE CONSTRUCTION OF THE PADS SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR.

DIMENSIONS SHOWN ON THE PLANS ARE GIVEN TO THE BACK OF CURB, FACE OR BACK OF WALK OR THE BUILDING OUTSIDE LINES.

STANDARD PARKING SPACES SHALL BE 10 FEET BY 20 FEET. THE SPACES ARE TO BE INDICATED BY 4 INCH WIDE WHITE LINES. THE PAINT LINES ON THE SITE, EXCEPT NEAR THE BUILDING, SHALL CONFORM TO THE ENGINEER'S PLAN.

CONCRETE CURBING SHALL BE 4000 PSI CONCRETE.

ALL ABANDONED CURB STOP BOXES SHALL BE REMOVED AND SALVAGED.

GENERAL NOTES:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION OR PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR WHERE POSSIBLE CONFLICTS EXIST PRIOR TO BEGINNING CONSTRUCTION.

THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS, EXISTING UTILITIES, LOT AND BUILDING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THE PLANS. ARRANGE TO HAVE UTILITIES IDENTIFIED AND FLAGGED BEFORE STARTING CONSTRUCTION. THE OWNER ASSUMES NO LIABILITY FOR THE LOCATION OF UTILITIES. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT, EXISTING OR PROPOSED UTILITIES (INCLUDING LEADS), SHALL BE COMPLETELY BACKFILLED WITH SAND IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF ITS MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD. THE COST IS TO BE INCLUDED IN THE UNIT PRICE BID FOR EACH ITEM.

THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT PART 91 OF PUBLIC ACT 451 OF 1994, AS AMENDED.

GEOTEXTILE FILTER BAGS SHALL BE USED AT ALL CATCH BASINS FOR SOIL AND SEDIMENTATION CONTROL. ALL CATCH BASINS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED PROJECT. COST FOR CLEANING THE CATCH BASINS SHALL BE INCLUDED IN THE COSTS FOR THE DRAINAGE STRUCTURES.

TOPSOIL SHALL BE STOCKPILED ON THE SITE AND USED AS TOPSOIL SURFACES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. TOPSOIL WILL NEED TO BE SPREAD IN THE BASIN AREA TO A MINIMUM DEPTH OF 6 INCHES. THE BERMS SHOWN ON THE PLANS WILL NEED TO BE TOPSOIL OR TO HAVE A MINIMUM OF 6 INCHES ON TOPSOIL SPREAD OVER THEM. THE CURB ISLANDS WILL BE FILLED AS SPECIFIED WITH TOPSOIL. THE INTENT IS FOR THE CONTRACTOR AND THE LANDSCAPER TO USE THE EXISTING TOPSOIL TO COMPLETE THE PROJECT PRIOR TO HAULING ANY TOPSOIL ONTO THE SITE. UNSUITABLE TOPSOILS MUST BE DISPOSED OF. DURING THE CLEANUP, ANY REMAINING STOCKPILES WILL NEED TO BE REMOVED. SOIL EROSION MEASURES MUST BE TAKEN TO ASSURE THAT THESE STOCKPILES ARE STABILIZED.

THE CONTRACTOR SHALL SEED AND FERTILIZE DITCH BANKS, SOILS PILES OR BANKS AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.

THE CONTRACTOR SHALL BACKFILL, COMPACT AND FINE GRADE ALL AREAS BETWEEN THE CURBS AND PAVEMENT AND THE PROPERTY LINES WITH TOPSOIL SUITABLE FOR LANDSCAPING. THE GRADES IN THESE AREAS WILL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

THE UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING AS STATED ON THE PLANS. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED.

THE CONTRACTOR SHALL FURNISH AND INSTALL PLAIN RIP-RAP BANK PROTECTION IN AREAS WHERE BANK EROSION WILL MOST LIKELY OCCUR OR AS DIRECTED BY THE ENGINEER.

BROKEN CONCRETE AND DEBRIS SHALL BE CONSIDERED WASTE TO BE DISPOSED OF BY THE CONTRACTOR.

ALL DEWATERING REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID.

ALL JOINTS AT INTERSECTION APPROACHES AND DRIVEWAYS SHALL BE SAWCUT WITH BUTT-JOINTS. THE COST SHALL BE INCLUDED WITH THE PAYMENT FOR EXCAVATION.

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES ON THE PROJECT. THE COST IS TO BE INCLUDED IN THE LUMP SUM FEE.

ALL WATER VALVE BOXES, ELECTRICAL BOXES, GAS VALVES AND ANY OTHER EXISTING UTILITY STRUCTURES ON THE SITE SHALL BE ADJUSTED TO FINISHED GRADE. THE COST SHALL BE INCLUDED IN THE LUMP SUM FEE.

CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET, SUITE C
MT. PLEASANT, MICHIGAN 48858
MT. PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



OPTION 2
GRADING, HORIZONTAL AND SITE PLAN
LOCKEY
PART OF THE NORTHWEST 1/4 OF SECTION 28,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

SCALE 1" = 10'	SHEET NUMBER 3 OF 5	JOB NUMBER: 1607-097	REVISIONS: REVISED 9-2-16 PER M.P.F.D. REVIEW
DRAWN BY: RLI	DESIGNED BY: TELB	SUBMITTALS: SUBMITTAL TO UNION TOWNSHIP 7-31-16 SUBMITTAL TO UNION TOWNSHIP 9-6-16	
CHECKED BY: TELB			



REVISIONS:

REVISED 9-2-16 PER M.P.F.D. REVIEW

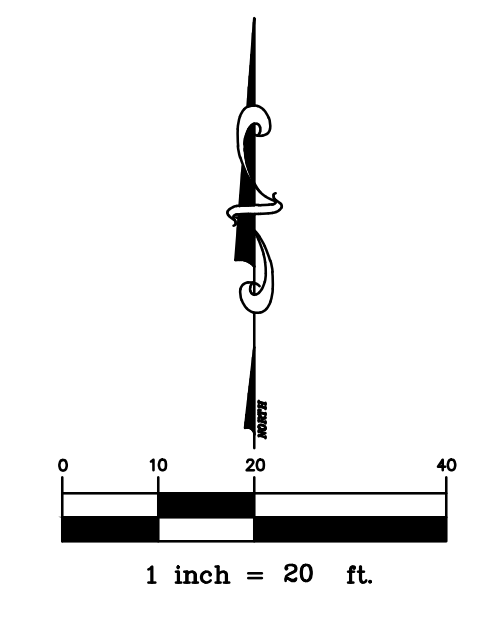
SUBMITTALS:

SUBMITTAL TO UNION TOWNSHIP 7-31-16
SUBMITTAL TO UNION TOWNSHIP 9-6-16

JOB NUMBER: 1607-097
 DRAWN BY: RLL
 DESIGNED BY: TELB
 CHECKED BY: TELB

SCALE: 1" = 20'

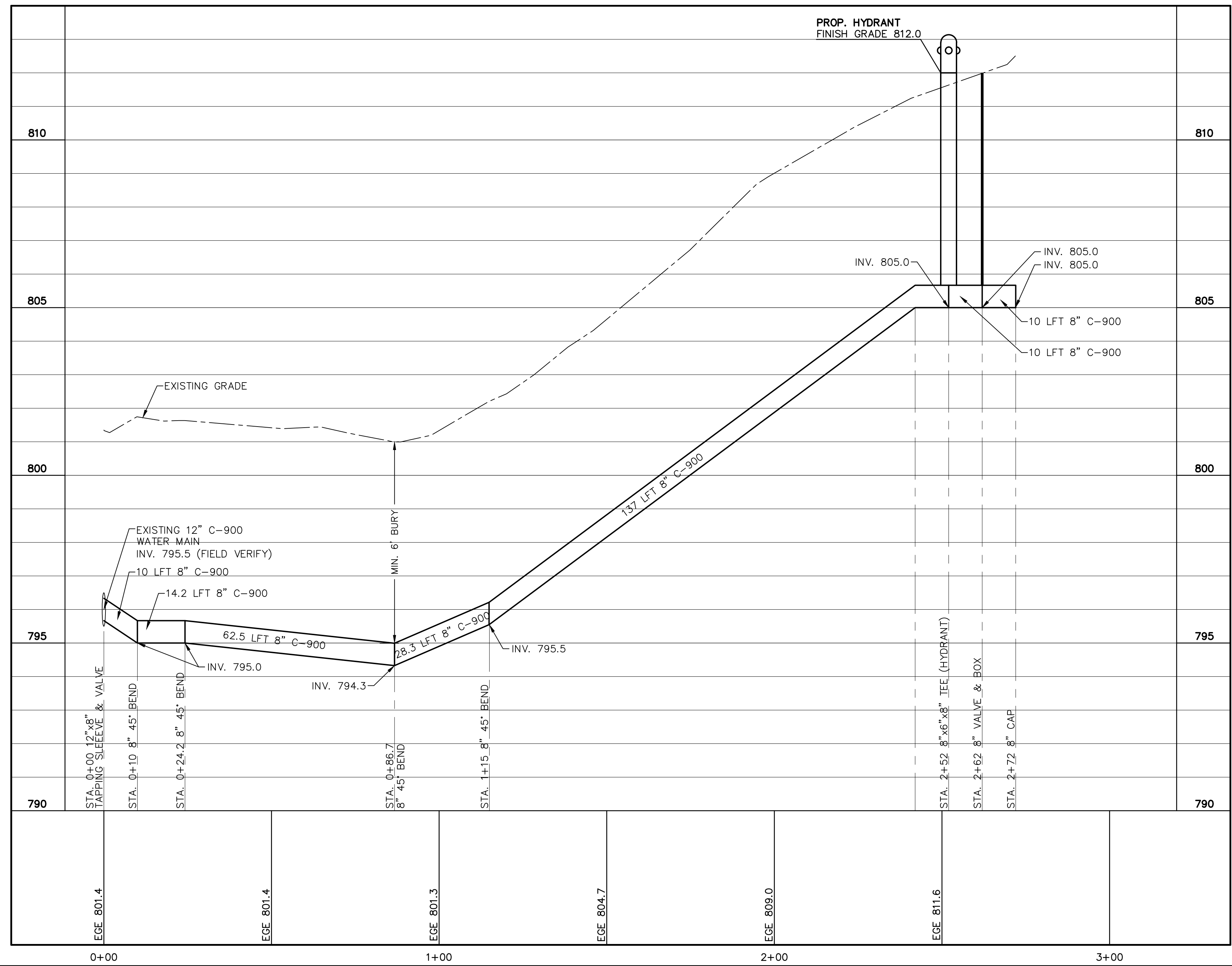
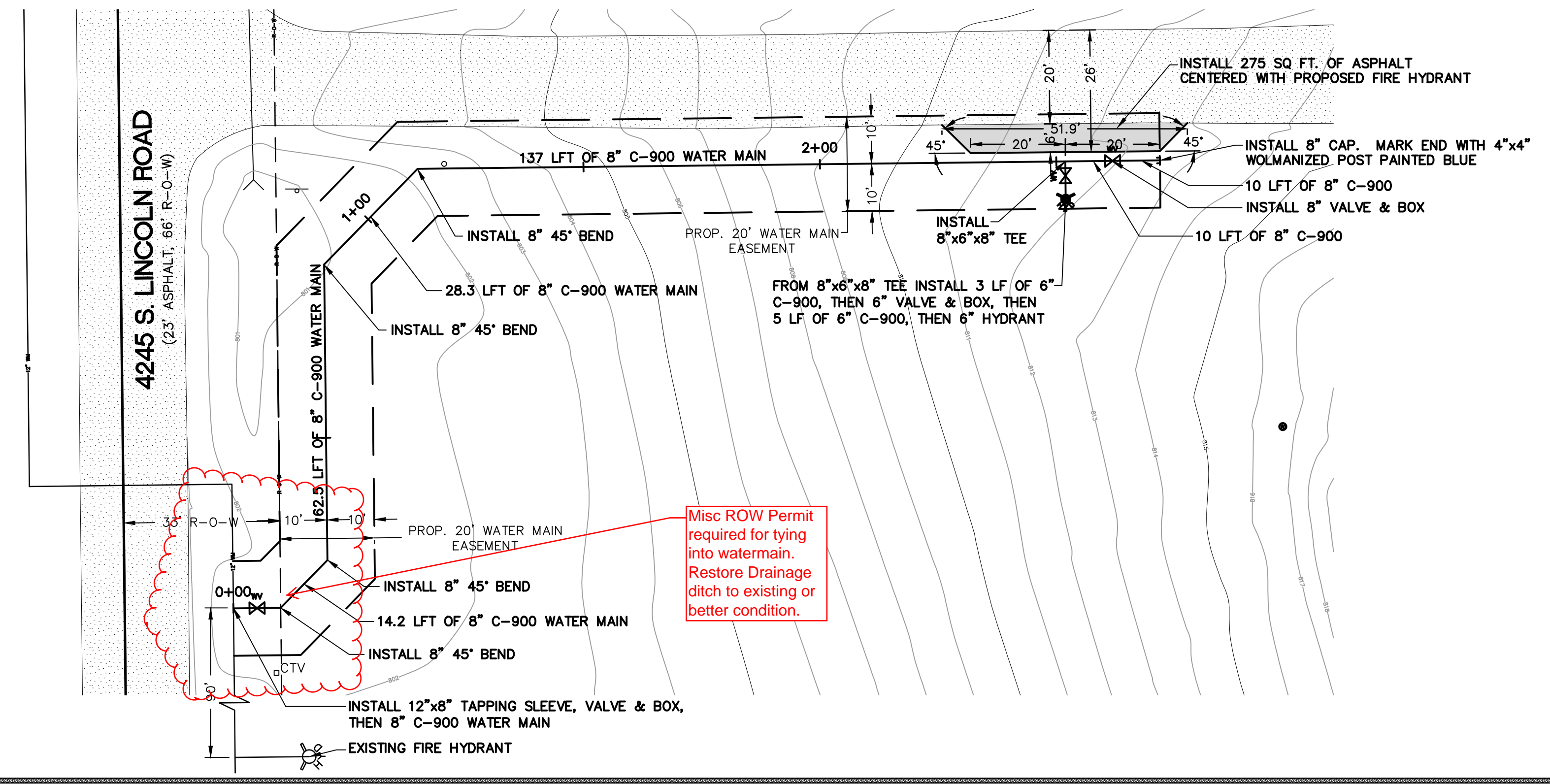
SHEET NUMBER: 4 OF 5



NOTE: CONTRACTOR TO VERIFY DEPTH OF EXISTING WATER MAIN PRIOR TO COMMENCING ANY OTHER CONSTRUCTION.

NOTE:
 EGE - EXISTING GROUND ELEVATION
 PGE - PROPOSED GROUND ELEVATION
 VERTICAL SCALE 1" = 1'
 HORIZONTAL SCALE 1" = 10'

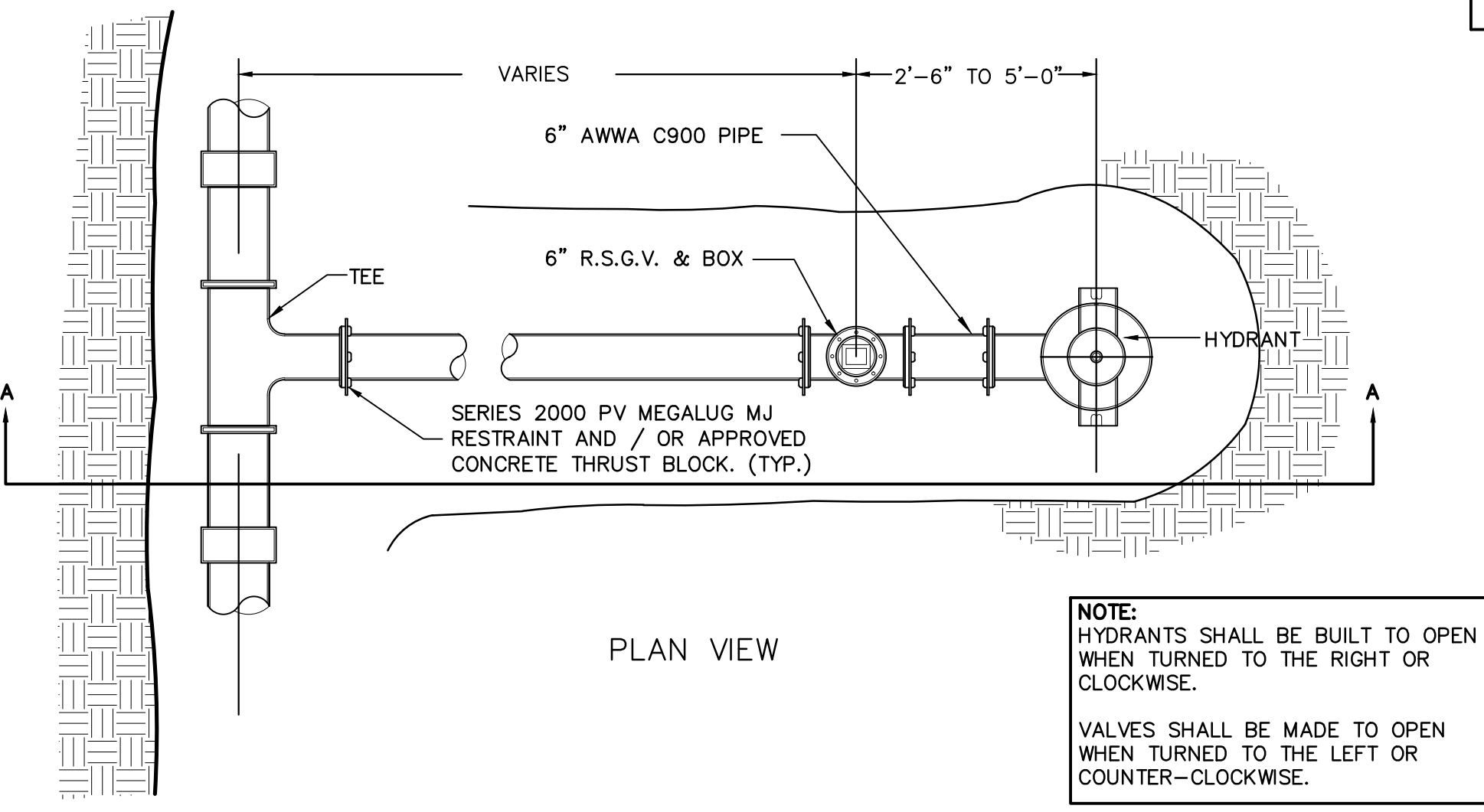
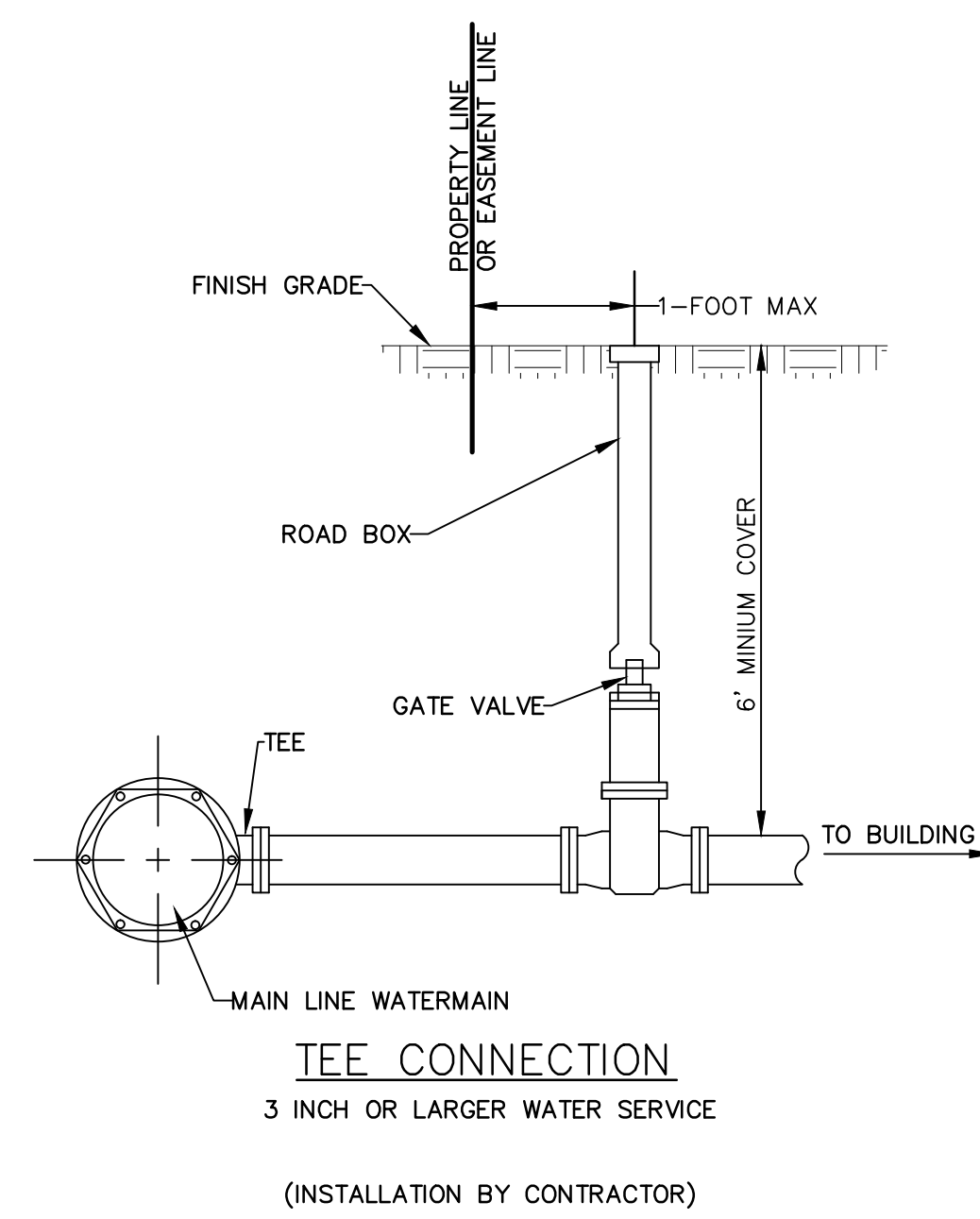
WATER MAIN PLAN



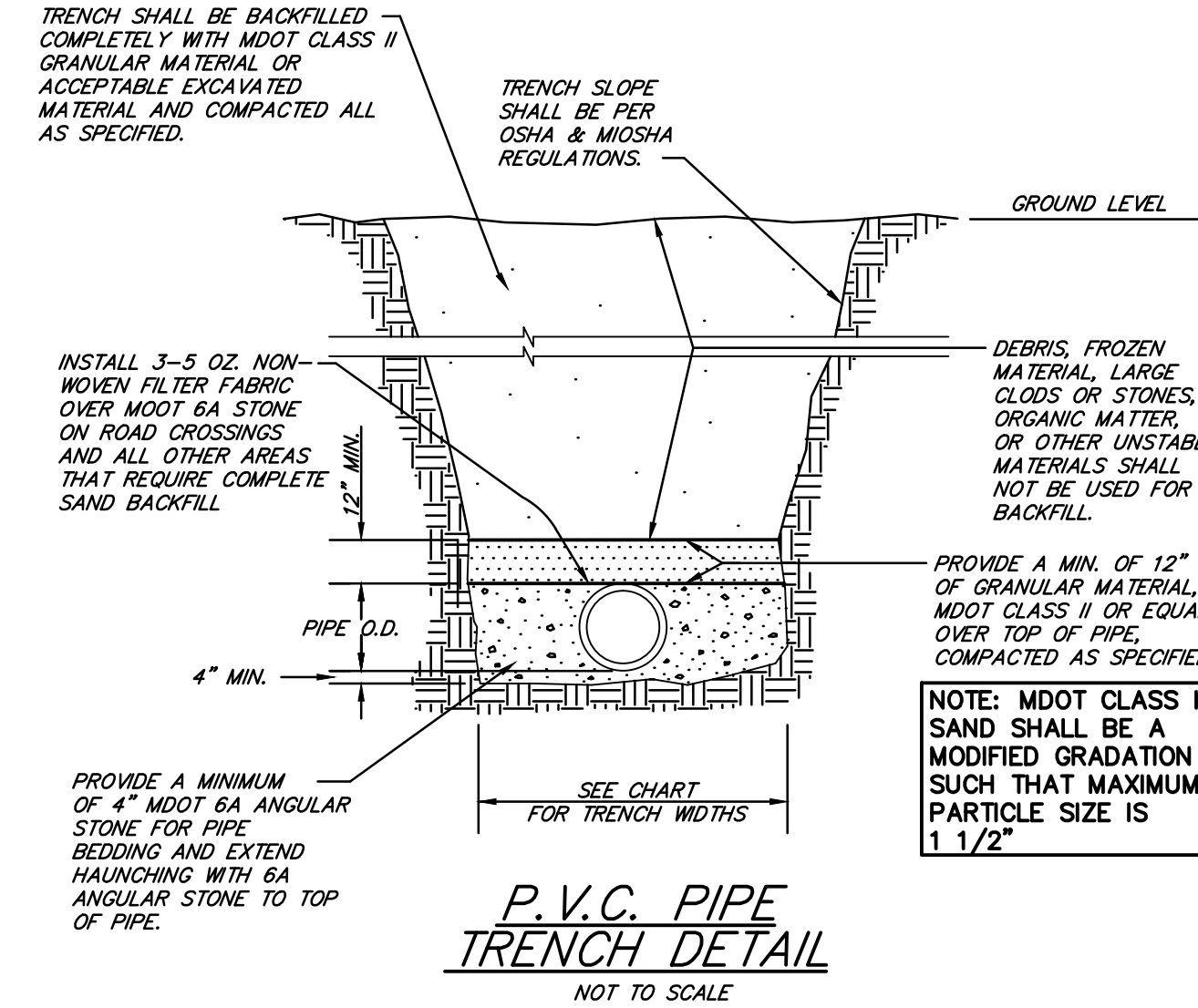
WATER MAIN PROFILE

- WATER MAIN NOTES:**
- 18" MINIMUM VERTICAL CLEARANCE AND 10 FOOT HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN WATER MAIN AND ALL UTILITY CROSSINGS. WHERE LESS VERTICAL CLEARANCE IS PROVIDED, CONCRETE SADDLES WILL BE REQUIRED.
 - CONTRACTOR MAY RAISE HYDRANTS TO 6'-6" BURY BY ADDING MECHANICAL JOINTS, INSTALLED IN ACCORDANCE WITH UNION TOWNSHIP STANDARDS.
 - CONTRACTOR SHALL VERIFY THE ELEVATION OF THE EXISTING WATER MAIN PRIOR TO CONSTRUCTION. SHOULD DIFFERENCES BETWEEN THE FIELD MEASUREMENTS AND PLANS OCCUR, THE ENGINEER SHALL BE NOTIFIED.
 - ALL WATER MAIN CONSTRUCTED WITHIN THE INFLUENCE OF EITHER PROPOSED OR EXISTING ROADS SHALL BE COMPLETELY BACKFILLED WITH M.D.O.T CLASS II SAND IN MAXIMUM 12" LIFTS. BACKFILL DENSITY SHALL BE AS SPECIFIED IN THE ASPHALT PAVEMENT CROSS SECTION.
 - CARE IS TO BE TAKEN WHEN INSTALLING WATER SERVICE LEAD TO BUILDINGS TO INSURE THAT ACCEPTABLE UTILITY CROSSING CLEARANCES ARE MAINTAINED.
 - CONTRACTOR SHALL CALL "MISS DIG" A MINIMUM OF A 3 DAYS PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
 - ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN COMPLIANCE WITH UNION TOWNSHIP STANDARDS (www.uniontownshipmi.com).
 - WATER MAIN TO BE AWWA C-900. IN DIRECTIONAL BORE LOCATIONS USE HDPE, AS SHOWN. WATER MAIN MUST BE STAMPED/MARKED NSF APPROVED ON PIPE.
 - THE CONTRACTOR IS REQUIRED TO ADJUST ALL FIRE HYDRANTS, VALVES, AND WATER SHUTOFF TO FINISH GRADE.
 - CONTRACTOR TO ENSURE A MINIMUM OF 5'-6" OF COVER OVER ALL WATER LEADS.
 - PRIOR TO CONNECTION OF EXISTING WATER MAIN THE NEW WATER MAIN ALL NEW WATERMAIN SHALL BE FLUSHED, CHLORINATED AND PRESSURE TESTED IN ACCORDANCE TO TOWNSHIP SPECIFICATIONS.
 - ALL FIRE HYDRANTS SHALL BE BURIED 6 FEET FROM THE FINISHED GRADE OF THE FIRE HYDRANT TO THE TOP OF THE PIPE.
 - ALL WATER MAINS MUST BE FLUSHED AND CLEANED OF SAND AND DEBRIS USING THE "POLY PIG" METHOD OF FLUSHING.
 - ALL SERVICE LEADS ARE TO BE CAPPED 5' FROM PROPOSED BUILDINGS AND/OR COORDINATED WITH PLUMBER.
 - PRESSURE TESTING MUST BE DONE IN ACCORDANCE WITH TOWNSHIP SPECIFICATION AND NOT MORE THAN 2,500 LF OF WATER MAIN WILL BE TESTED AT ONE TIME.
 - DISINFECTING OF WATER MAINS WILL BE DONE IN ACCORDANCE TO ALL TOWNSHIP SPECIFICATIONS AND WILL BE COMPLETED AFTER ALL WATER MAIN HAS BEEN FLUSHED AND PRESSURE TESTED.
 - OWNER AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND FOLLOWED WITH WRITTEN DESCRIPTION OF FIELD FINDINGS NOTING SPECIFIC ELEVATIONS AND CONDITIONS THAT DIFFER FROM PLANNED DESIGNS. 2± FEET OF EXISTING CONDITIONS IS TO BE CORRECTED WITHOUT COST DEVIATION AND ACCEPTED AS FIELD CONDITIONS.
 - INSTALLATION OF ANY WATER MAIN, HYDRANT OR VALVES MUST BE INSPECTED BY UNION TOWNSHIP DURING INSTALLATION AND SCHEDULED WITH UNION TOWNSHIP UTILITY DEPARTMENT, AT (989) 772-4600 EXT. 224, AT LEAST 48 HOURS IN ADVANCE OF ANY WORK COMMENCING.

PIPE SIZE	90° BEND OR TEE			45° BEND			22 1/2° BEND			11 1/4° BEND			PLUG			
	A	B	C	Q	A	B	C	Q	A	B	C	Q	A	B	C	Q
6", 8" & 10"	3'-0"	2'-0"	1'-3"	0.3	2'-0"	1'-6"	1'-3"	0.1	1'-6"	1'-0"	1'-3"	0.1	1'-0"	1'-0"	1'-6"	0.2
12"	3'-0"	2'-6"	1'-6"	0.4	2'-0"	2'-0"	1'-6"	0.2	2'-0"	1'-0"	1'-6"	0.1	1'-0"	2'-6"	1'-6"	0.3



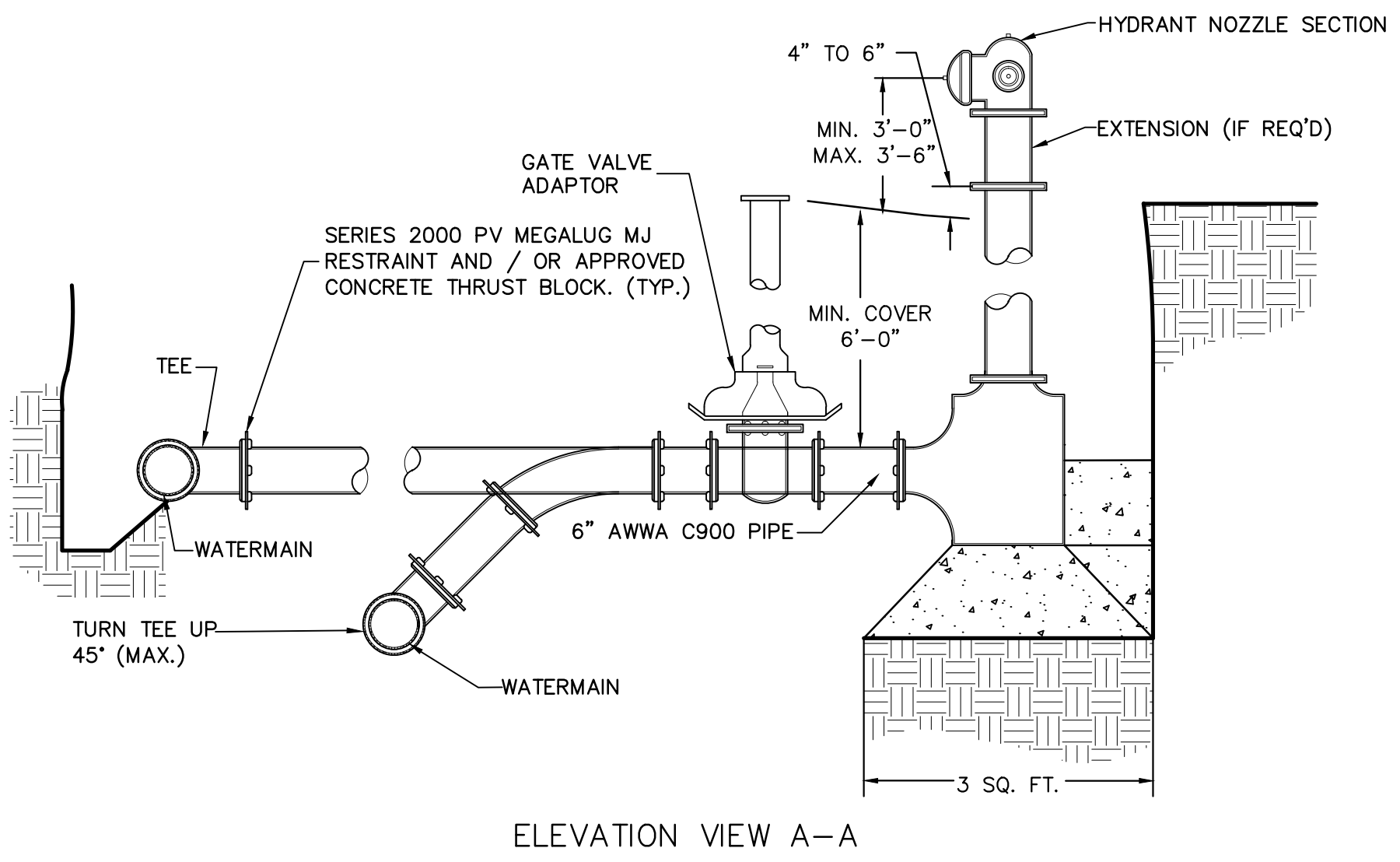
NOTE:
HYDRANTS SHALL BE BUILT TO OPEN WHEN TURNED TO THE RIGHT OR CLOCKWISE.
VALVES SHALL BE MADE TO OPEN WHEN TURNED TO THE LEFT OR COUNTER-CLOCKWISE.



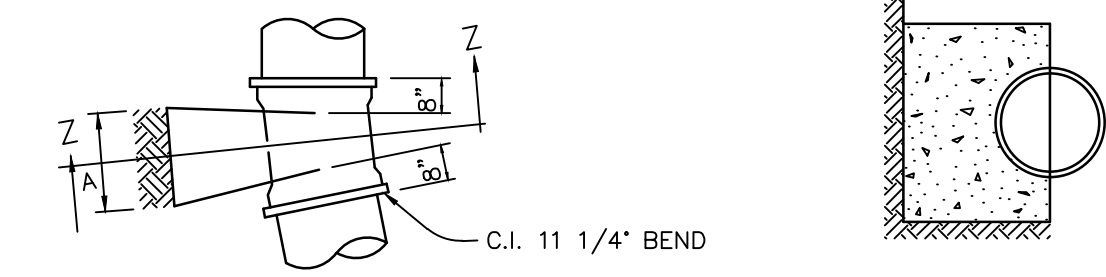
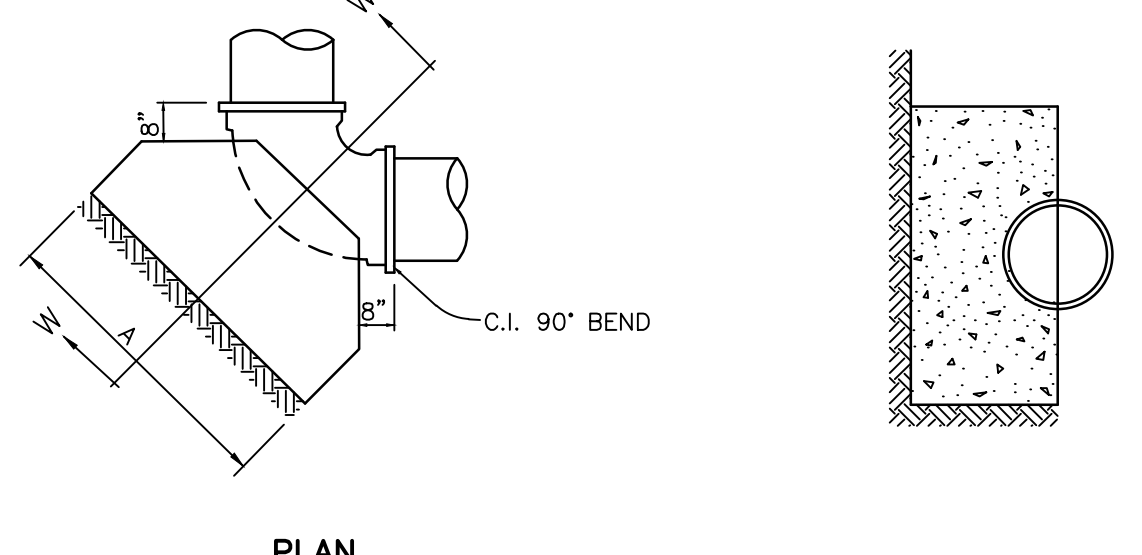
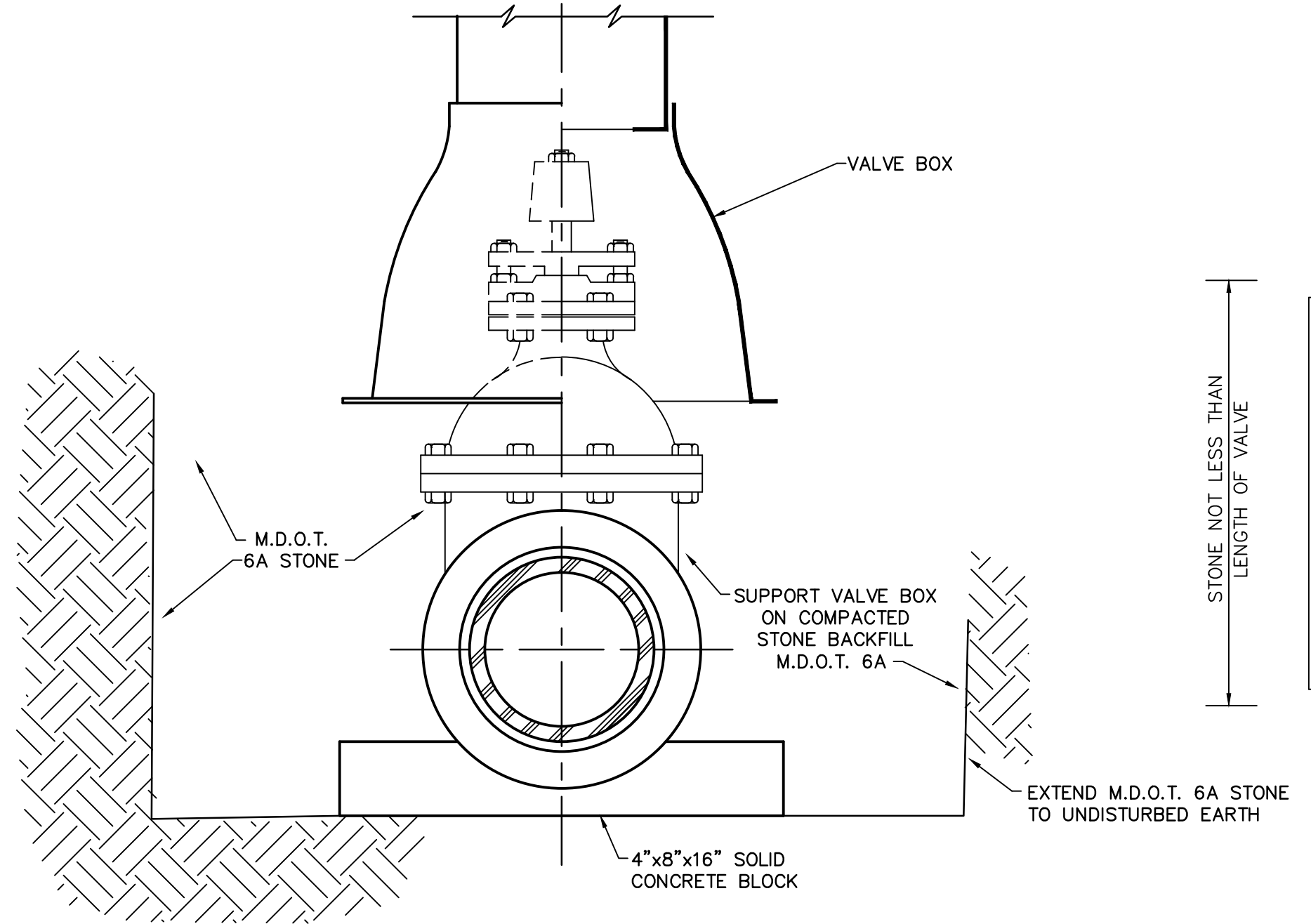
TRENCH WIDTH CHART

PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"

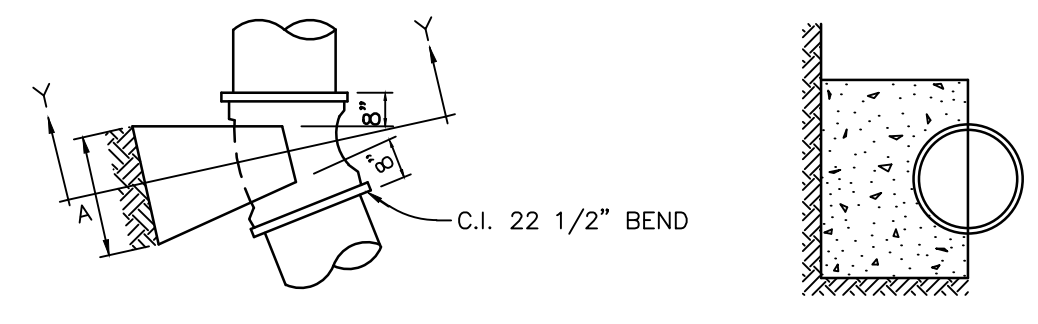
- NOTES:**
- THE CONCRETE USED FOR BLOCKING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
 - THE CONTRACTOR SHALL SECURE ALL VERTICAL BENDS WITH A MINIMUM OF 2/3/4" ANCHOR RODS FITTING EITHER CONCRETE BLOCK, WELDED STEEL PIPE SLEEVE OR COLLARS. METHOD USED SHALL BE DETERMINED BY THE ENGINEER.
 - ALL BENDS SHALL BE MECHANICAL JOINT.
 - ALL FERROUS PARTS SHALL RECEIVE A 10 MIL (DMT) COATING OF COAL TAR EPOXY.
 - WRAP ALL FITTINGS, VALVES, HYDRANTS, AND D.I. PIPE IN 8 MIL POLYETHYLENE SHEET TO WITHIN ONE FOOT OF FINISHED GRADE.
 - ALL HYDRANTS SHALL BE MEGA LUGGED.
 - ALL COST ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID PER EACH HYDRANT INSTALLED.



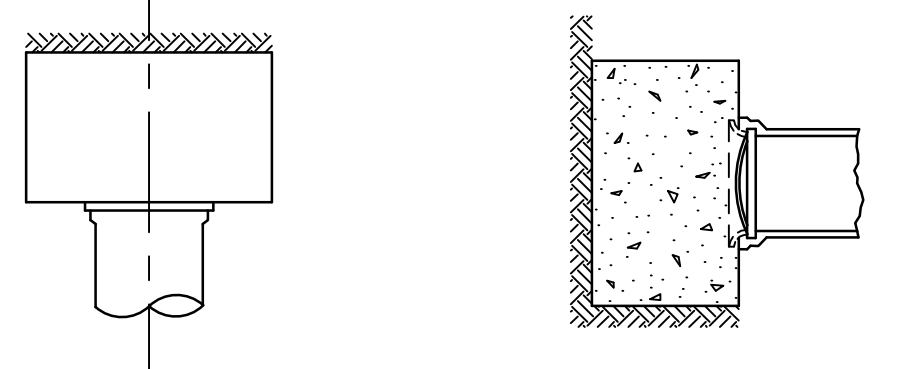
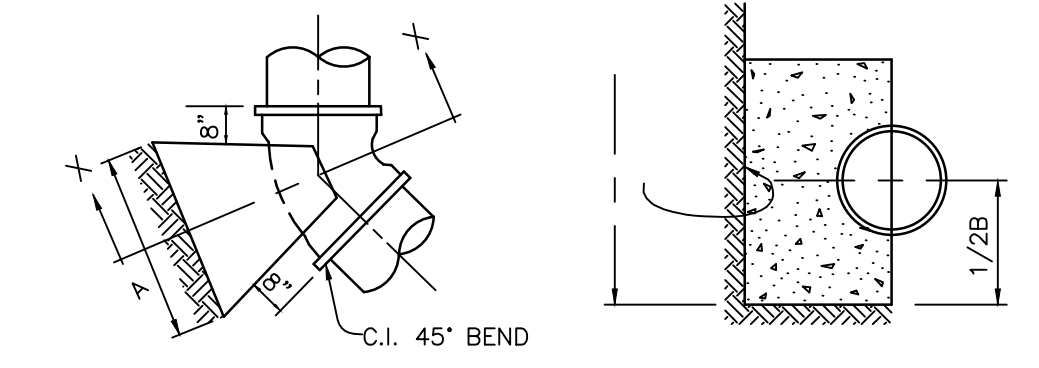
TYPICAL HYDRANT CONNECTION
NOT TO SCALE



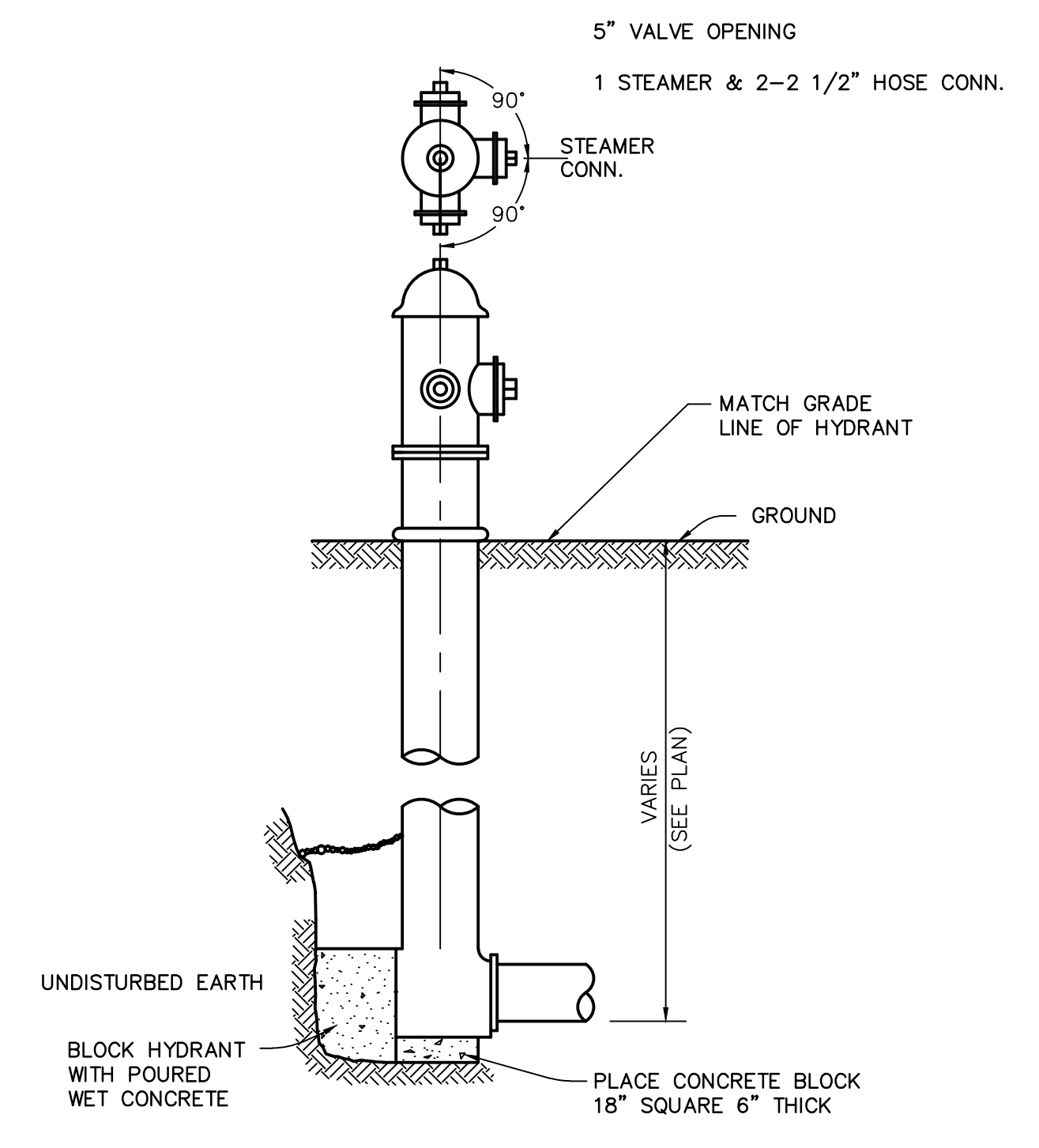
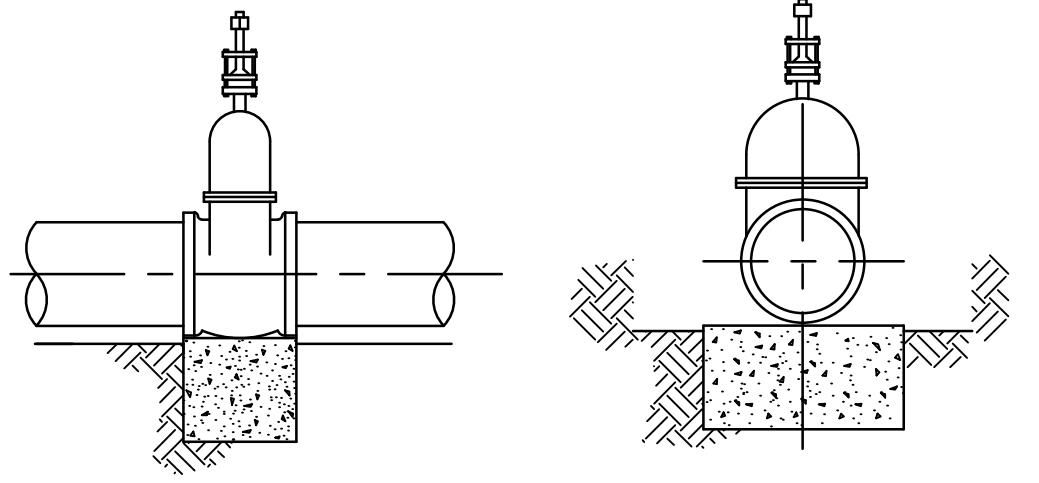
DETAIL OF BLOCK FOR 22 1/2° BEND
Q - MIN. CU. YD. CONCRETE PER BLOCK
NOT TO SCALE



DETAIL OF BLOCK FOR GATE VALVES
NOT TO SCALE



DETAIL OF BLOCK FOR GATE VALVES
NOT TO SCALE



CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET, SUITE C
MT. PLEASANT, MICHIGAN 48858
MT. PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



CONSTRUCTION DETAILS
LOCKEY
PART OF THE NORTHWEST 1/4 OF SECTION 28,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:
REVISED 9-2-16 PER M.P.F.D. REVIEW

SUBMITTALS:
SUBMITTAL TO UNION TOWNSHIP 7-31-16
SUBMITTAL TO UNION TOWNSHIP 9-6-16

JOB NUMBER:
1607-097

DRAWN BY:
RLL

DESIGNED BY:
TELB

CHECKED BY:
TELB

SCALE:
NONE

SHEET NUMBER:
5 OF 5

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review **Final Site Plan Review**
- II. Applicant Name INTERNATIONAL R.V. WORLD
- III. Applicant Address 5365 EAST PICKARD RD, MT. PLEASANT, MI 48858
- IV. Applicant Phone 989-317-3456 Owner Phone 989-239-9873
- V. Applicant is (circle) Contractor Architect/Engineer Developer **Land Owner** (skip V& VI)
Other
- VI. Land Owner Name _____
- VII. Land Owner Address _____
- VIII. Project/Business Name INTERNATIONAL R.V. WORLD
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	✓	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	✓	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	✓	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	✓	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	✓	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	✓	
Name and Address of Applicant	✓	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	

Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - -	✓	
drives, -----	✓	
sidewalks, (required) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	✓	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	
common use areas, -----	✓	
areas to be conveyed for public use and purpose. -	✓	
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	N/A	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	N/A	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	

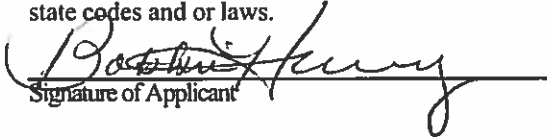
Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N/A	

APPLICANT COMMENTS

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.


Signature of Applicant

9-27-16
Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE October 18, 2016 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

<u>Township use</u>	<u>Review Comments</u>
File # ^{SPR} 2016-14	_____
Fee Paid initial Yes 225	_____
Receipt # 75362	_____
Date received 10-3-16	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: INTERNATIONAL R.V. WORLD

Name of business owner(s): BOBBIE HARVEY

Street and mailing address: 5365 E. PICKARD RD, MT. PLEASANT, MI 48858
989-317-3456

Telephone:

Fax: 989-317-3458

Email: harveybobbie50@gmail.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:

 9-27-14

Information compiled by:

SHANEE THAYER

OFFICE MANAGER, CMS&D

Part I: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N ~~Will hazardous substances or polluting materials be stored on-site?~~
3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N NA Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations. For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on site holding tank
b. on-site system
- IT has been approved* The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	KEY: LQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank = drums DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM, WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), Permit Section
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, Asbestos Program
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the Land and Water Management Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), Joint Permit Application
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Soil Erosion and Construction Storm Water , or Contact your Local Agency
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES Storm Water Permits Program , or appropriate DEQ District Office
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Public Swimming Pool Program , or appropriate DEQ District Office
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, Threatened and Endangered Species Program , 517-373-1552
Does the project involve construction or alteration of any sewage collection or treatment facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate District Office , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), Solid Waste , Appropriate DEQ District Office
Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, Treatment, Storage and Disposal
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your Local Water Utility
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) Local Health Department
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Guide , Contact your (District or County) Local Health Department
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Community Water Supply , DEQ District Office Community Water Supply Program

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Appropriate DEQ District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section, or appropriate DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?			
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS			
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)			
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

Union Township Site Plan Review Application 2015 Revision

UNION TOWNSHIP CONSTRUCTION CONTACTS

Building & Zoning Permits

Sign Permit

Water and Sewer review

Site Plan Review

Charter Township of Union

2010 S. Lincoln Rd

Mt. Pleasant, MI 48858

(989) 772 4600 (switchboard)

(989) 773 1988 (FAX)

Building Official

Randy Robinson - Ext. 227

rrobinson@uniontownshipmi.com

Zoning Administrator

Peter Gallinat - Ext. 241

pgallinat@uniontownshipmi.com

Public Works Coordinator

Kim Smith - Ext. 224

ksmith@uniontownshipmi.com

Road Permits

(submit (2) copies of site plan directly to proper authority prior to Site Plan Review)

State Highways M 20 and US 127 (portions of E. Pickard Rd, E Remus Rd, and Mission Rd)

MDOT

1212 Corporate Drive

Mt. Pleasant, MI 48858

(989) 773-7756 FAX 775 6329

All other roads

Isabella County Road Commission

2261 E. Remus Rd

Mt. Pleasant, MI 48858

(989) 773 7131 (FAX) 772 2371

ICTC

2100 E Transportation Dr

Mt. Pleasant, MI 48858

(989)772-9441

Union Township Site Plan Review Application 2015 Revision

Storm Water Management Plan

Submit (2) copies of Storm Water Management Plan directly to county engineer prior to Site Plan Review
Code - Union Township Ord. 1992-9 Storm Water Management

Isabella County Building

Resource Management
ATTN: Bruce Rohrer PE
200 N. Main St.
Mt. Pleasant, MI 48858

(989) 772 0911 Ext. 231 (FAX) 773 7431

Plumbing, Electrical, Mechanical Permits

Isabella County Building

Inspections

ATTN: (SEE FOLLOWING LIST)

200 N. Main St.

Mt. Pleasant, MI 48858

(989) 772 0911 Ext. (SEE FOLLOWING) (FAX) 773 7431

Electrical Inspector
Tim Wardwell - Ext. 230

Plumbing and Mechanical Inspector
Doug Elias - Ext. 228

Fire Department Review

Sgt. Randy Keeler

804 E. High St.

Mt. Pleasant, MI 48858

((989) 779-5122 (FAX) 773 4020

rkeeler@mt-pleasant.org

Addressing

Isabella County Building Official (989) 772 0911, Ext 228

Miscellaneous

Phone - GTE (800) 483 5600, Verizon (800) 483 4000

Gas/Electric - Consumer Energy (800) 572 4788, MichCon (800) 477 4747 Central MI Dist. Health Dept. (989) 773 5921

Miss Dig (800) 482 7171

Shanee Thayer

From: "Rick Collins" <rcollins@ictcbus.com>
Date: Tuesday, September 27, 2016 10:35 AM
To: <info@cms-d.com>
Cc: "Peter Gallinat" <pgallinat@uniontownshipmi.com>
Subject: International RV site plans

I have reviewed site plans for International RV and the Isabella County Transportation Commission has no issue with the plans.



Rick Collins | Executive Director
2100 E. Transportation Dr | Mt. Pleasant, MI 48858
Phone 989.773.6766 | Fax 989.773.1873
rcollins@ictcbus.com
Visit our website at ictcbus.com



**Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, Mi 48858**

Union Township Site Plan Review

Tuesday September 27,

International RV World
5365 E Pickard RD
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Tuesday September 27, 2016 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification
International RV World
5365 E. Pickard Rd.

Project scope:
Proposed new asphalt and replace existing asphalt.
Project Print Number: 1608-121
Received 9/27/16

NO COMMENTS/CONCERNS No Code Violations

In review of the subject property, I have no comments or concerns.

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department

Shanee Thayer

From: "Kim Smith" <ksmith@uniontownshipmi.com>
Date: Tuesday, September 27, 2016 2:46 PM
To: "Timothy Bebee" <tbebee@cms-d.com>
Cc: <info@cms-d.com>; "Peter Gallinat" <pgallinat@uniontownshipmi.com>; "Angela Schofield" <aschofield@uniontownshipmi.com>; "Ken LaBelle" <KLaBelle@mcka.com>; "Mark Stuhldreher" <mstuhldreher@uniontownshipmi.com>
Subject: RE: Site Plan - International RV World

Tim,

Thank you, I took a look at the drawings you dropped off and since International RV World is only doing work to the asphalt and are not installing any new water or sewer to buildings or making or changing any water and sewer connections there are no requirements for this site plan by the Utility Department.

If you have any further questions please let me know.

Kim Smith



Department of Public Works
Charter Township of Union
2010 S. Lincoln Road
Mt. Pleasant, MI 48858
Phone (989) 772-4600 ext. 224
Fax (989) 773-1988
Visit us on the Web at
<http://www.uniontownshipmi.com>

"This institution is an equal opportunity provider, and employer."

From: Timothy Bebee [mailto:tbebee@cms-d.com]
Sent: Tuesday, September 27, 2016 2:33 PM
To: Kim Smith
Cc: info@cms-d.com
Subject: Re: Site Plan

Kim,

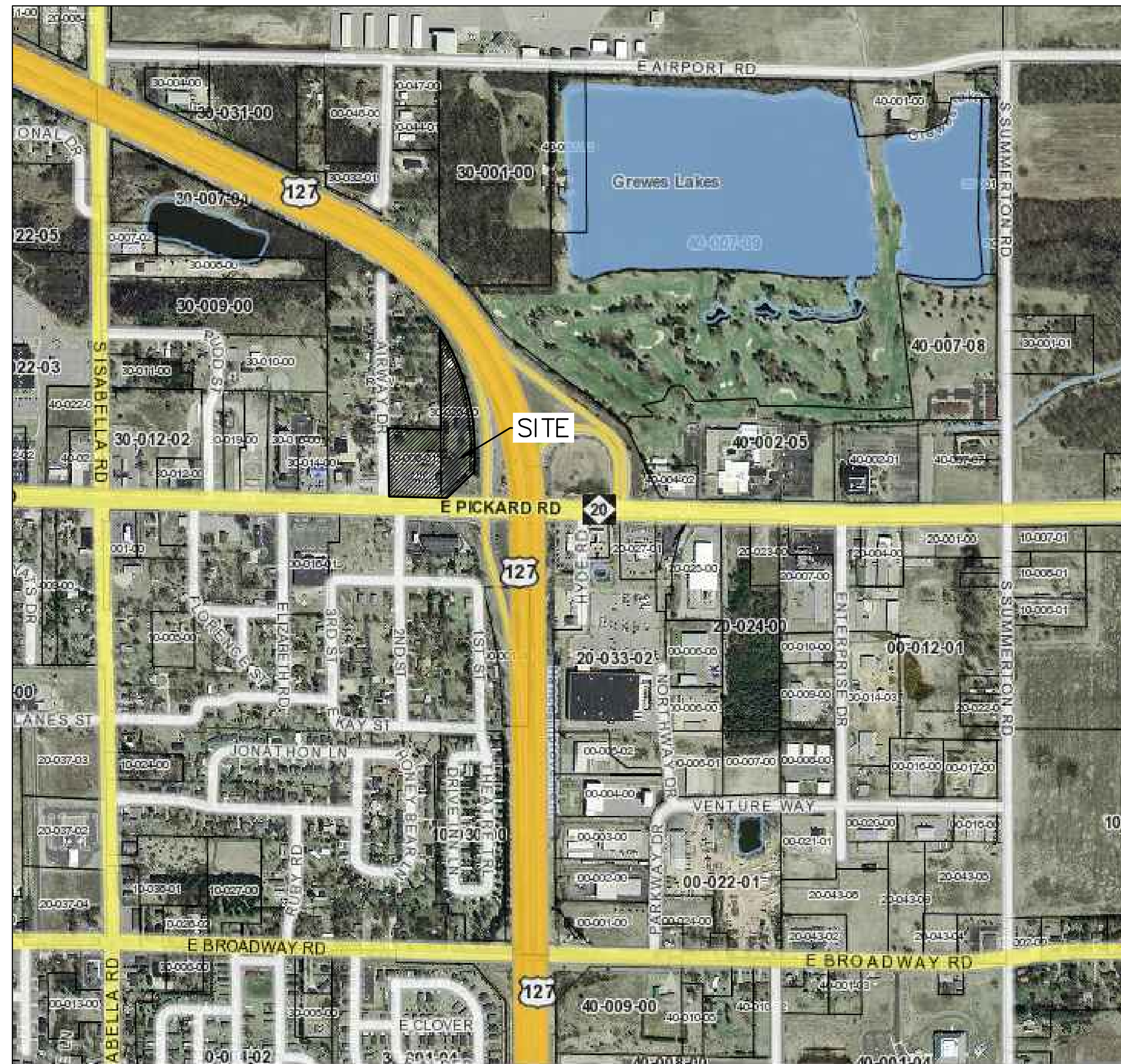
We dropped of a site plan for International RV World.

We are putting in two new paved areas and repair/replace so existing pavement.

No new buildings and no water or sewer services.

INTERNATIONAL R.V. WORLD

SITE PLAN



ZONED B-7 RETAIL & SERVICE HIGHWAY BUSINESS	
MINIMUM LOT AREA (SQ FT)	20,000
MINIMUM LOT WIDTH	130 FT (D)
MAXIMUM STRUCTURE HEIGHT	35 FT
MINIMUM FRONT YARD SETBACK	15 FT (E)
MINIMUM SIDE YARD SETBACK	10 FT (E)
MINIMUM REAR YARD SETBACK	10 FT (E)

(E) E. If abutting to residential property, evergreen screening shall be provided with a minimum of 6 feet in height spaced to provide solid screening within three (3) years with not more than 10 foot centers. Two rows with alternate planting may be required as specified in 8.32-6

See Section 24.4, E

See Section 24.4, B

MISS DIG.

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY. NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND

SYMBOLS

○ BOLLARD	⊠ GAS RISER	⊙ SOIL BORING
⊠ CATCH BASIN (CURB INLET)	⊠ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⊠ HYDRANT - EXISTING	⊠ TELEPHONE RISER
⊠ CATCH BASIN (SQUARE)	⊠ HYDRANT - PROPOSED	● TREE - CONIFEROUS
○ CLEAN OUT	⊠ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	⊠ MAILBOX	⊠ UTILITY POLE
⊠ ELECTRICAL BOX	⊠ MONITORING WELL	⊠ WATER MAIN VALVE
○ FOUND CONC. MONUMENT	⊠ SANITARY SEWER MANHOLE	⊠ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⊠ FLOOD LIGHT
⊠ GAS MAIN VALVE	⊠ SIGN	⊠ GAS METER

LINE TYPES

—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS

[Hatch Pattern]	ASPHALT - EXISTING
[Hatch Pattern]	ASPHALT - PROPOSED
[Hatch Pattern]	CONCRETE
[Hatch Pattern]	GRAVEL
[Hatch Pattern]	LANDSCAPING
[Hatch Pattern]	RIP-RAP
[Hatch Pattern]	EXISTING BUILDING

PART OF THE SOUTHWEST 1/4 OF SECTION 12, T14N-R4W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

LOCATION SKETCH

SCALE: 1" = 500'

PROPERTY DESCRIPTIONS (AS PROVIDED):

LOTS 3,4,5 AND THE SOUTH 1/2 OF LOT 7 OF SUPERVISOR'S PLAT OF "WARDS OUTLOTS", BEING PART OF THE WEST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 12, T14N, R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, AS RECORDED IN LIBER 3 OF PLATS, PAGE 167, ISABELLA COUNTY, MICHIGAN.

AND

T14N-R4W, SECTION 12; COMMENCING AT A POINT WHICH IS N.88°-48'-40"W., 703.8 FEET AND N.46°-11'-20"E., 84.78 FEET FROM THE SOUTH 1/4 CORNER; THENCE N.46°-11'-20"E., 222.1 FEET; THENCE N.01°-11'-20"E., 107.13 FEET TO TA POINT OF CURVE TO THE LEFT HAVING A RADIUS OF 1295.07 FEET; THENCE ALONG THE ARC OF SAID CURVE, 680.88 FEET TO A POINT OF TANGENT WHICH IS ALSO A POINT OF CURVE TO THE LEFT HAVING A RADIUS OF 1273.14 FEET; THENCE ALONG ARC OF SAID CURVE 94.12 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE SW 1/4, 999.35 FEET; THENCE S.88°-48'-40"E., 64.64 FEET TO THE POINT OF BEGINNING. (DESCRIPTION FROM ISABELLA COUNTY LAND RECORDS FOR PARCEL 14-012-30-026-00)

SHEET INDEX

SHEET 1.....	COVER SHEET
SHEET 2.....	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
SHEET 3.....	SITE & HORIZONTAL PLAN
SHEET 4.....	GRADING STORM WATER & SOIL EROSION PLAN
SHEET 5.....	CONSTRUCTION DETAILS

NEIGHBORING BENCHMARK RELATIONSHIP:

ADD 0.53 FEET TO THE ELEVATIONS ON THE DOUG'S SMALL ENGINE REPAIR PLAN SET TO MATCH THE ELEVATION DATUM FOR THE INTERNATIONAL RV WORLD PLAN SET.

BENCHMARKS:

BENCHMARK: NORTHEAST HYDRANT FLANGE BOLT ON HYDRANT ON SOUTH SIDE OF THE PROPERTY AND ON THE NORTH SIDE OF PICKARD ROAD (M-20), NEAR WESTERLY DRIVEWAY. ELEVATION 761.71

BEARING BASIS:

THE SOUTH SECTION LINE BETWEEN THE SOUTH 1/4 CORNER AND THE SOUTHWEST CORNER WAS TAKEN AS N.88°-26'02"W FROM A SURVEY BY LAPHAM ASSOCIATES, PROJECT NO. E150077, DATED 6/4/2015, REVISED 8/28/2015.

SITE:	5365 E. PICKARD ROAD MT. PLEASANT, MI 48858
OWNER:	INTERNATIONAL R.V. WORLD 5365 E. PICKARD ROAD MT. PLEASANT, MI 48858 CONTACT: BOBBIE PHONE: (989) 317-3456
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 510 W. PICKARD STREET - SUITE C MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS 915 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 (989) 621-4932 RANDY BUNKER rbunker@chartercom.com	CHARTER TOWNSHIP OF UNION PUBLIC WATER/PUBLIC SEWER 2010 N. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600 EXT 24 KIM SMITH ksmith@uniontownshipmi.com
CONSUMERS ENERGY 1325 WRIGHT AVENUE ALMA, MI 48801 (989) 466-4282 KIM STUDDT kimberly.studdt@cmsenergy.com	CHARTER TOWNSHIP OF UNION PLANNING & ZONING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48858 (989) 772-4600 EXT 241 PETER GALLINAT pgallinat@uniontownshipmi.com
FRONTIER 345 PINE STREET ALMA, MI 48801 (989) 463-0392 MARK A. MARSHALL Mark.Marshall@fr.com	DRAIN COMMISSIONERS OFFICE ISABELLA COUNTY BUILDING 200 NORTH MAIN STREET ROOM 140 MT. PLEASANT, MI 48858 (989) 772-0911 RICK JAKUBIEC drain@isabellacounty.org
DTE ENERGY 4420 44TH ST., S.E., SUITE B KENTWOOD, MI, 49512 (616) 954-4623 MARY JO MCKERSIE mckersiem@dteenergy.com	ISABELLA COUNTY ROAD COMMISSION 2261 EAST REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131 EXT 115 PATRICK GAFFNEY Pgaffney@isabellaroads.com
MT. PLEASANT FIRE DEPARTMENT 804 EAST HIGH STREET MT. PLEASANT, MI 48858 (989) 779-5100 EXT 5122 SGT. RANDY KEELER rkeeler@mt-pleasant.org	

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EMAIL: info@cms-d.com



COVER SHEET
INTERNATIONAL RV WORLD
PART OF THE SOUTHWEST 1/4 OF SECTION 12,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:				
SUBMITTALS:	SUBMITTAL TO TWP. REVIEW AGENTS 9-26-16			
	SITE PLAN SUBMITTAL TO UNION TWP. 10-3-16			
JOB NUMBER:	1608-121	SCALE:	1" = 50'	
DRAWN BY:	RLI	DESIGNED BY:	TELB	
CHECKED BY:	TELB	CHECKED BY:	TELB	
SHEET NUMBER:	1 OF 5			

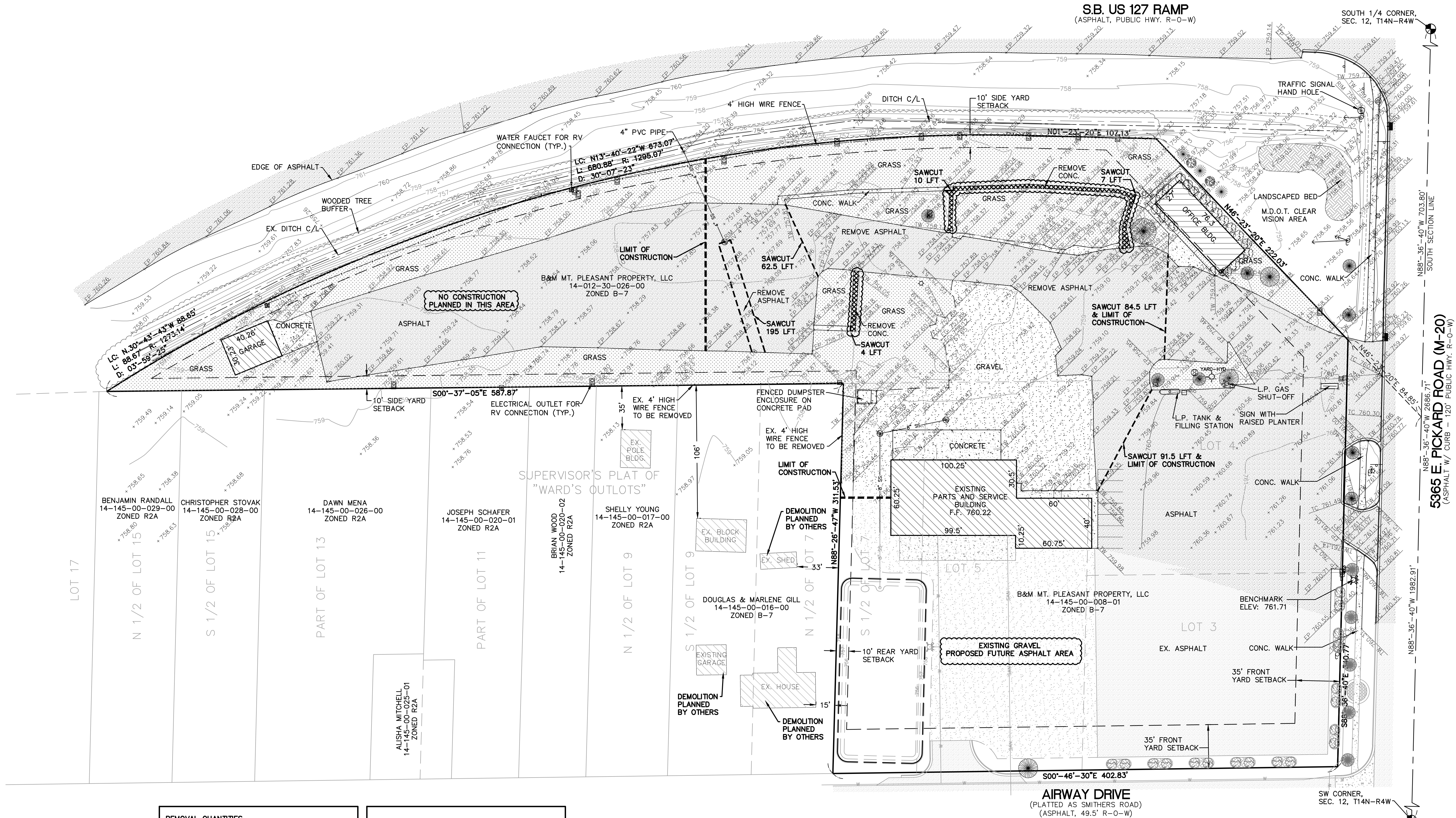


REVISIONS:

SUBMITTALS:
 SUBMITTAL TO TWP. REVIEW AGENTS 9-26-16
 SITE PLAN SUBMITTAL TO UNION TWP. 10-3-16

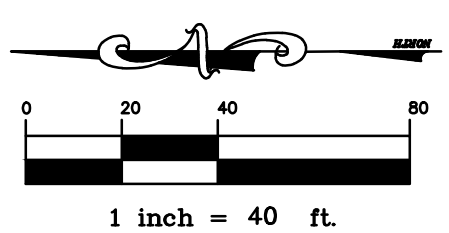
JOB NUMBER:
 1608-121
 DRAWN BY:
 RLL
 DESIGNED BY:
 TELB
 CHECKED BY:
 TELB

SCALE
 1" = 40'
 SHEET NUMBER
 2 OF 5



REMOVAL QUANTITIES	
EX. PAVEMENT:	20,372 SFT
EX. CONCRETE:	962 SFT
SAWCUT CONCRETE:	21.0 LFT
SAWCUT ASPHALT:	433.5 LFT

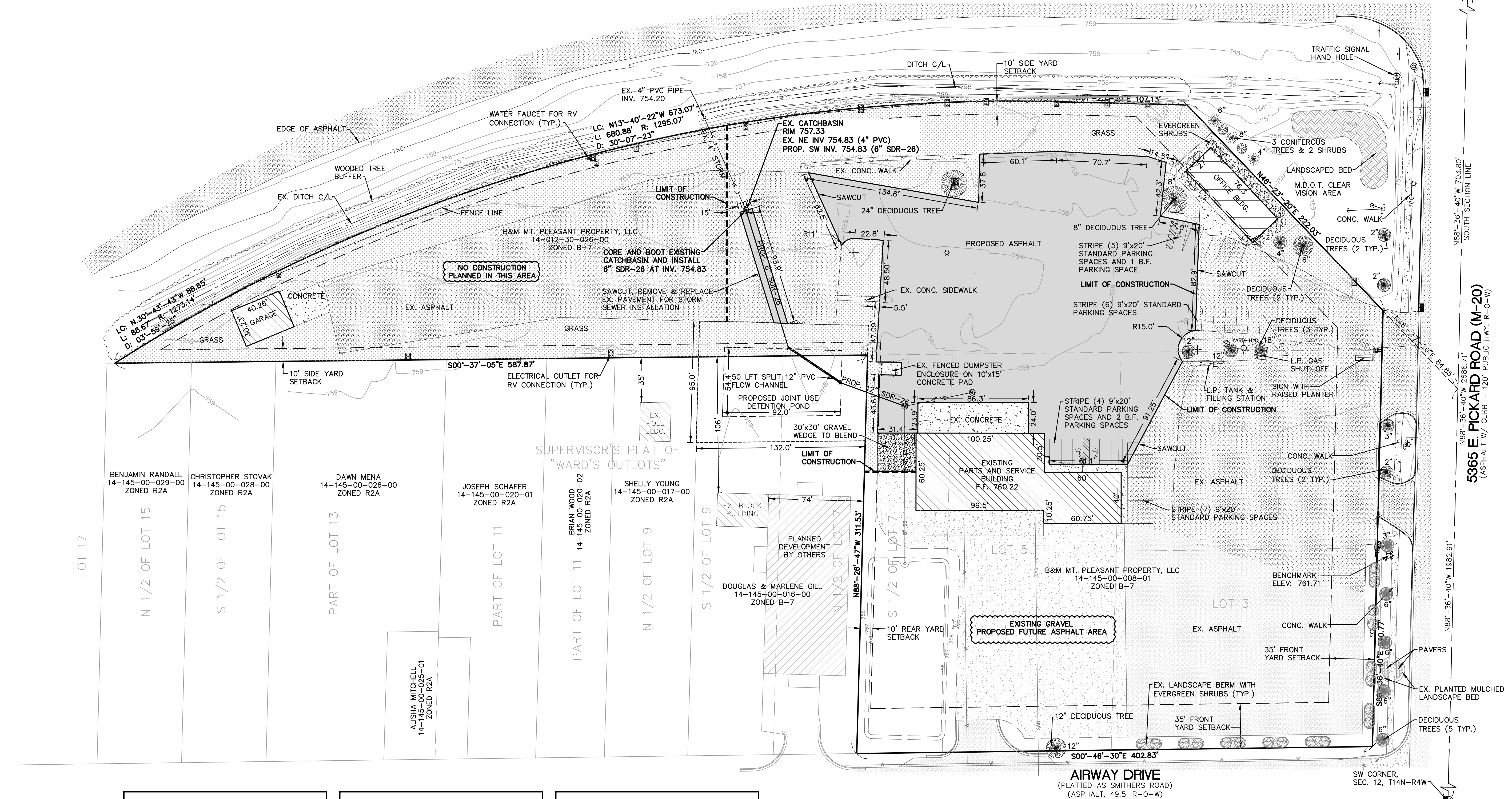
SURVEYORS NOTE:
 THE TOPOGRAPHIC INFORMATION SHOWN SOUTH OF THE EXISTING PARTS AND SERVICE BUILDING TO AIRWAY DRIVE IS FROM A PLAN, PROVIDED BY THE CLIENT, PREPARED BY LAPHAM ASSOCIATES, DATED 6/4/2015 AND REVISED 8/19/2015.





S.B. US 127 RAMP
 (ASPHALT, PUBLIC HWY. R-0-W)

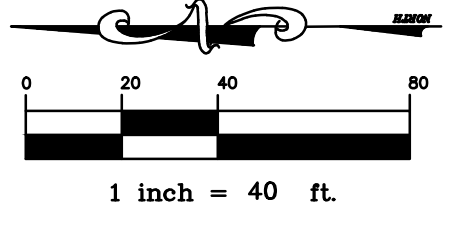
SOUTH 1/4 CORNER,
 SEC. 12, T14N-R4W



RESURFACE TABLE	
EXISTING SURFACES TO BE REMOVED AND PAVED:	
EX. PAVEMENT:	20,371.58 SFT
EX. CONCRETE:	587.02 SFT
EX. GRAVEL:	17,498.66 SFT
EX. GRASS:	12,571.59 SFT
PROPOSED ASPHALT:	51,028.85 SFT

SURVEYORS NOTE:
 THE TOPOGRAPHIC INFORMATION SHOWN SOUTH OF THE EXISTING PARTS AND SERVICE BUILDING TO AIRWAY DRIVE IS FROM A PLAN, PROVIDED BY THE CLIENT, PREPARED BY LAPHAM ASSOCIATES, DATED 6/4/2015 AND REVISED 8/19/2015.

PARKING NOTE:
 IF ASPHALT AREA IS NOT STRIPED FOR STANDARD OR BARRIER-FREE PARKING THEN AREAS ARE UTILIZED FOR DRIVE ISLE AND UNIT PARKING.



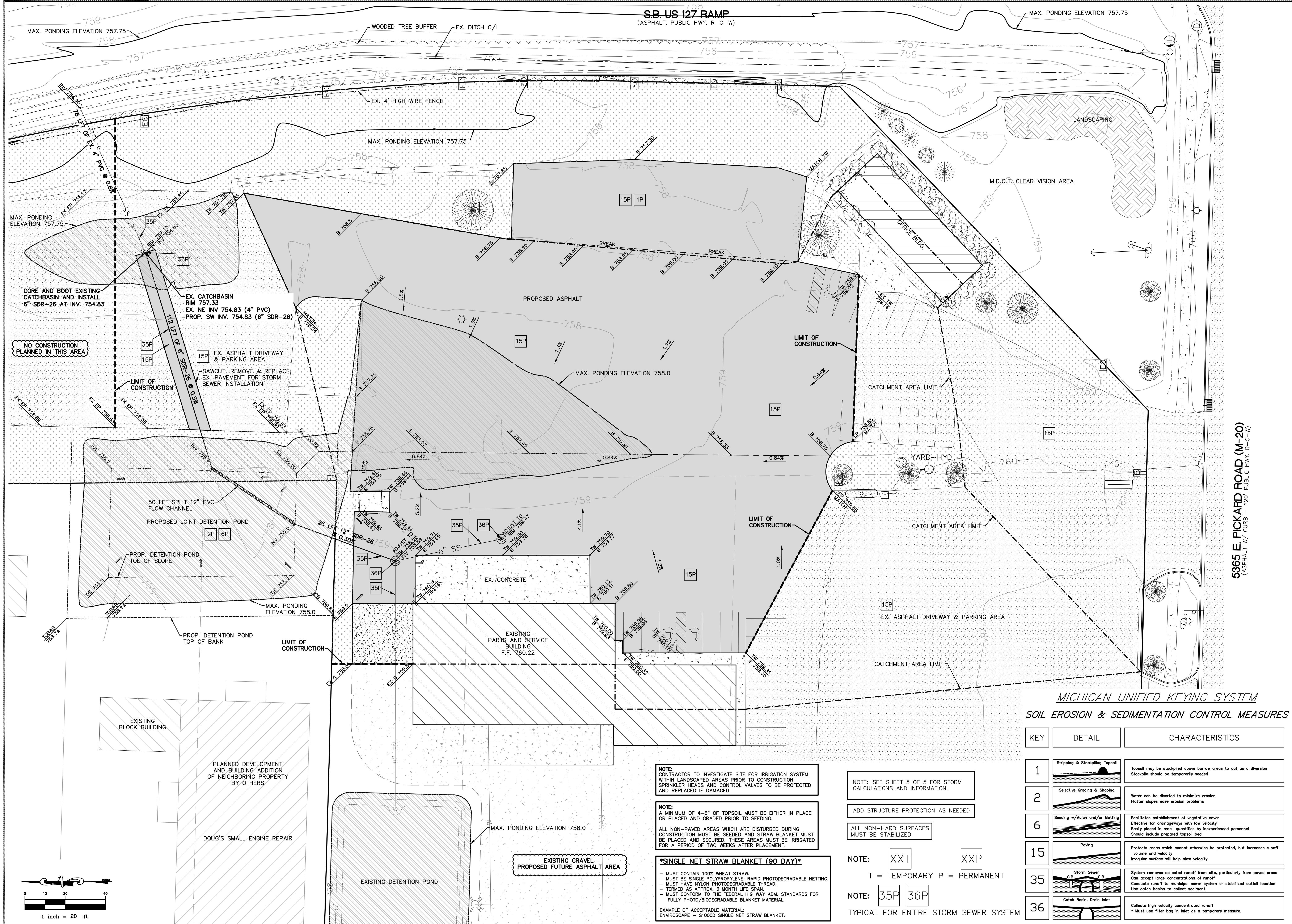
5365 E. PICKARD ROAD (M-20)
 (ASPHALT W/ CURB - 120' PUBLIC HWY. R-0-W)

AIRWAY DRIVE
 (PLATTED AS SMITHERS ROAD)
 (ASPHALT, 49.5' R-0-W)

REVISIONS:

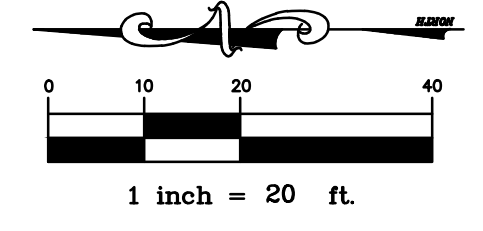
1008-121	9-26-16
RL	10-3-16
TELB	
TELB	

SCALE	1" = 40'
SHEET NUMBER	3 OF 5



S.B. US 127 RAMP
(ASPHALT, PUBLIC HWY. R-O-W)

5365 E PICKARD ROAD (M-20)
(ASPHALT W/ CURB - 120' PUBLIC HWY. R-O-W)



NOTE:
CONTRACTOR TO INVESTIGATE SITE FOR IRRIGATION SYSTEM WITHIN LANDSCAPED AREAS PRIOR TO CONSTRUCTION. SPRINKLER HEADS AND CONTROL VALVES TO BE PROTECTED AND REPLACED IF DAMAGED.

NOTE:
A MINIMUM OF 4-6" OF TOPSOIL MUST BE EITHER IN PLACE OR PLACED AND GRADED PRIOR TO SEEDING.
ALL NON-PAVED AREAS WHICH ARE DISTURBED DURING CONSTRUCTION MUST BE SEED AND STRAW BLANKET MUST BE PLACED AND SECURED. THESE AREAS MUST BE IRRIGATED FOR A PERIOD OF TWO WEEKS AFTER PLACEMENT.

SINGLE NET STRAW BLANKET (90 DAY)
- MUST CONTAIN 100% WHEAT STRAW.
- MUST BE SINGLE POLYPROPYLENE, RAPID PHOTODEGRADABLE NETTING.
- MUST HAVE NYLON PHOTODEGRADABLE THREAD.
- TERMED AS APPROX. 3 MONTH LIFE SPAN.
- MUST CONFORM TO THE FEDERAL HIGHWAY ADM. STANDARDS FOR FULLY PHOTO/Biodegradable BLANKET MATERIAL.
EXAMPLE OF ACCEPTABLE MATERIAL:
ENVROSCAPE - S10000 SINGLE NET STRAW BLANKET.

NOTE: SEE SHEET 5 OF 5 FOR STORM CALCULATIONS AND INFORMATION.
ADD STRUCTURE PROTECTION AS NEEDED

ALL NON-HARD SURFACES MUST BE STABILIZED

NOTE: XXT XXP
T = TEMPORARY P = PERMANENT

NOTE: 35P 36P
TYPICAL FOR ENTIRE STORM SEWER SYSTEM

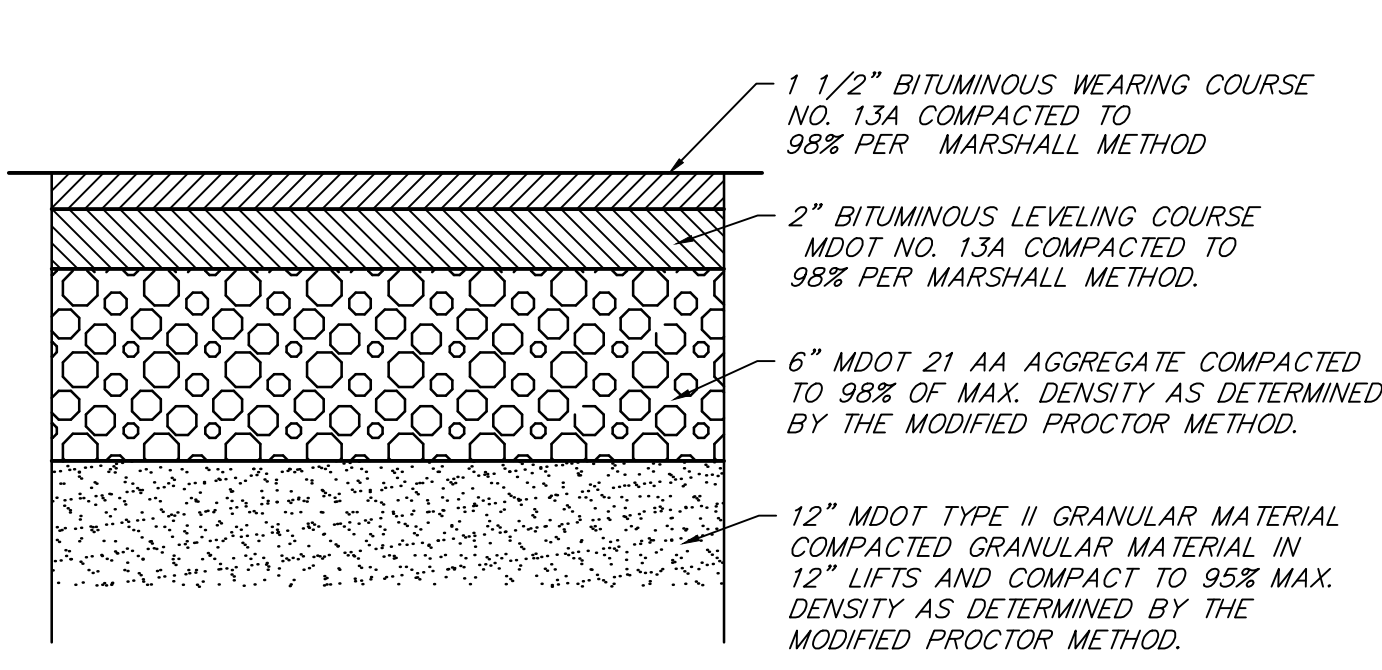
**MICHIGAN UNIFIED KEYING SYSTEM
SOIL EROSION & SEDIMENTATION CONTROL MEASURES**

KEY	DETAIL	CHARACTERISTICS
1	Stripping & Stockpiling Topsoil	Topsoil may be stockpiled above borrow areas to act as a diversion. Stockpile should be temporarily seeded.
2	Selective Grading & Shaping	Water can be diverted to minimize erosion. Flatter slopes ease erosion problems.
6	Seeding w/Mulch and/or Matting	Facilitates establishment of vegetative cover. Effective for drainageways with low velocity. Easily placed in small quantities by inexperienced personnel. Should include prepared topsoil bed.
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity. Irregular surface will help slow velocity.
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized outfall location. Use catch basins to collect sediment.
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff. Must use filter bag in inlet as a temporary measure.

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EMAIL: info@cms-d.com

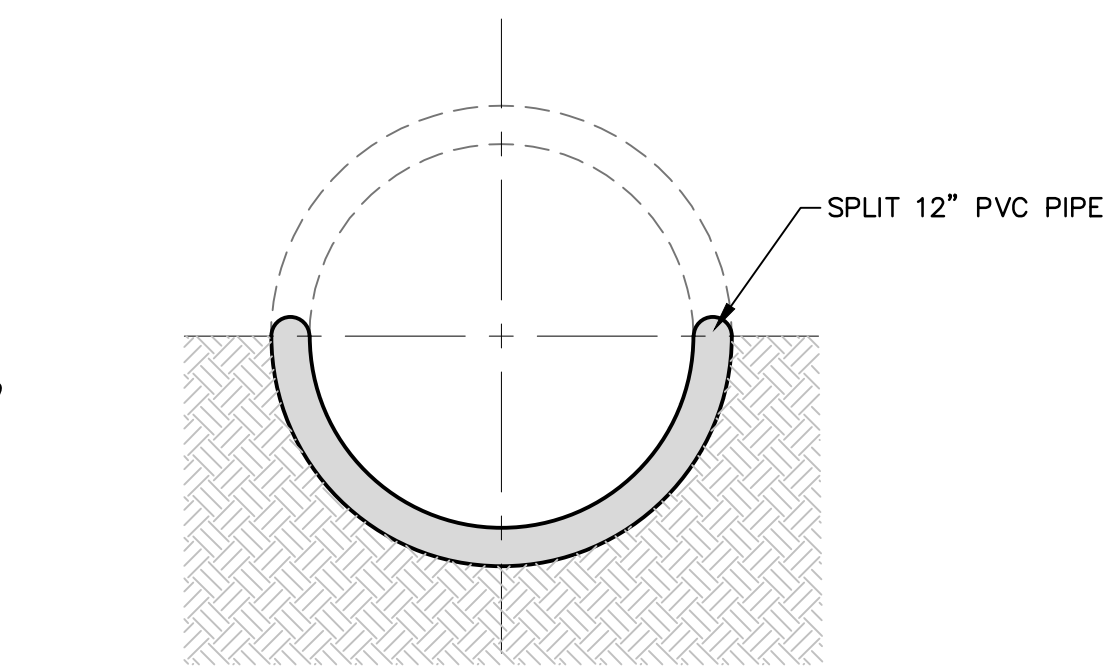
GRADING, STORM WATER & SOIL EROSION PLAN
INTERNATIONAL RV WORLD
PART OF THE SOUTHWEST 1/4 OF SECTION 12,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:	
SUBMITTALS:	
SUBMITTAL TO TWP. REVIEW AGENTS 9-26-16	
SITE PLAN SUBMITTAL TO UNION TWP. 10-3-16	
JOB NUMBER:	1608-121
DRAWN BY:	RLB
DESIGNED BY:	TELB
CHECKED BY:	TELB
SCALE:	1" = 20'
SHEET NUMBER:	4 OF 5



NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

PARKING LOT ASPHALT PAVEMENT CROSS-SECTION
NOT TO SCALE



P.V.C. FLOW CHANNEL CROSS-SECTION
NOT TO SCALE

STORM WATER DESCRIPTION, ASSUMPTIONS AND CALCULATIONS

THE FOLLOWING STORM WATER CALCULATIONS ARE FOR THE COMBINED SITES OF DOUG'S SMALL ENGINE REPAIR AND INTERNATIONAL RV WORLD. THERE ARE FOUR MAJOR DRAINAGE AREAS THAT ARE UNDER CONSIDERATION. THESE AREAS ARE AS FOLLOWS:

DRAINAGE AREA 1 DOUG'S SMALL ENGINE REPAIR - 1875 AIRWAY DRIVE. THE PARCEL IS BEING REDEVELOPED. THE SPECIFICS OF THE DESIGN CAN BE FOUND ON LORENZ SURVEYING AND ENGINEERING PLAN SET (JOB NO. 160060). THE TOTAL AREA OF THE SITE IS 41,152 SQFT (0.94 ACRES). THE IMPERVIOUS AREA IS 26,934 SQFT (0.62 ACRES). THIS INCLUDES THE PROPOSED FUTURE ASPHALT PAVING OF THE EASTERLY GRAVEL STORAGE AREA. THE PERVIOUS AREA OF THE SITE IS 14,218 SQFT (0.32 ACRES).

DRAINAGE AREA 2 THIS IS A PORTION OF THE INTERNATIONAL RV WORLD PARCEL. THE PARCEL IS BROKEN INTO TWO TAX PARCELS 14-145-00-008-01 AND 14-012-30-026-00. DRAINAGE AREA 2 IS THE +/- WESTERLY HALF OF TAX PARCEL 14-145-00-008-01. THIS PORTION OF THE SITE HAD BEEN PART OF A REDEVELOPMENT PLAN PREPARED BY LAPHAM AND ASSOCIATES (JOB NO. E150077). THESE PLANS WERE SUBMITTED, REVIEW AND APPROVED BY UNION TOWNSHIP AND THE ISABELLA COUNTY DRAIN COMMISSION FOR STORM WATER MANAGEMENT. THE TOTAL AREA OF DRAINAGE AREA 2 IS 83,503 SQFT (1.92 ACRES). THE IMPERVIOUS AREA IS 66,235 SQFT (1.52 ACRES). THE PERVIOUS AREA OF THE SITE IS 17,268 FEET (0.40 ACRES). THE CURRENT GRAVEL STORAGE AREA IS PROPOSED TO BE ASPHALT PAVED IN THE FUTURE AND THIS IS BEING CONSIDERED AS PAVED FOR THESE CALCULATIONS.

DRAINAGE AREA 3 THIS IS A PORTION OF THE INTERNATIONAL RV WORLD PARCEL. THE PARCEL IS BROKEN INTO TWO TAX PARCELS 14-145-00-008-01 AND 14-012-30-026-00. DRAINAGE AREA 3 IS THE +/- NORTHERLY HALF OF TAX PARCEL 14-012-30-026-00. THIS PORTION OF THE SITE DOES NOT HAVE ANY PROPOSED WORK OR MODIFICATIONS UNDER THIS SITE PLAN AND THEREFORE IS EXCEPT FROM THE STORM WATER ORDINANCE. THE TOTAL AREA OF DRAINAGE AREA 3 IS 68,651 SQFT (1.58 ACRES). THE IMPERVIOUS AREA IS 39,436 SQFT (0.91 ACRES). THE PERVIOUS AREA OF THE SITE IS 29,216 FEET (0.67 ACRES).

DRAINAGE AREA 4 THIS IS A PORTION OF THE INTERNATIONAL RV WORLD PARCEL. THE PARCEL IS BROKEN INTO TWO TAX PARCELS 14-145-00-008-01 AND 14-012-30-026-00. DRAINAGE AREA 4 IS THE +/- SOUTHERLY HALF OF TAX PARCEL 14-012-30-026-00 AND THE +/- EASTERLY HALF OF TAX PARCEL 14-145-00-008-01. THIS PORTION OF THE SITE HAS THE PROPOSED MODIFICATION AND ADDITION OF ASPHALT PAVING AREAS. THERE ARE TWO AREAS THAT HAD BEEN PERVIOUS AREAS THAT WILL NOW BE IMPERVIOUS AREAS AND A GRAVEL AREA WHICH WILL NOW BE IMPERVIOUS. THE TOTAL AREA OF DRAINAGE AREA 4 IS 78,030 SQFT (1.79 ACRES). THE IMPERVIOUS AREA IS 55,077 SQFT (1.26 ACRES). THE PERVIOUS AREA OF THE SITE IS 22,953 FEET (0.53 ACRES). THIS SITE WAS DEVELOPED PRIOR TO THE UNION TOWNSHIP STORM WATER ORDINANCE. THEREFORE, THE SITE IS REQUIRED TO DETERMINE THE DIFFERENCE BETWEEN ITS CURRENT CONDITION AND THE PROPOSED CONDITION. THE PROPOSED PLAN CONVERTS 30,222 SQFT FEET OF PERVIOUS AREA TO IMPERVIOUS AREA.

THERE IS ONE 4" PVC STORM WATER OUTLET FOR THE 4 DRAINAGE AREAS. THIS OUTLET DISCHARGES TO THE MDOT DRAINAGE DITCH ON THE WEST SIDE OF THE OFF RAMP OF US-127. THIS IS AN EXISTING OUTLET AND DOES NOT REQUIRE A MDOT DISCHARGE PERMIT. BASED ON THE PROPOSED HEIGHT OF PONDING, THE INVERT THE 4" PVC OUTLET AND IT'S OVERALL LENGTH, THE OUTLET WILL ALLOW 0.55 CFS OUTFLOW. THIS IS LESS THAN THE TOWNSHIP'S 0.1 CFS PER ACRE ALLOWABLE DISCHARGE.

BASED ON THE ABOVE DESCRIBED CONDITIONS OF THE SITE, DRAINAGE AREAS 1 AND 2 ARE REQUIRED TO MEET THE CURRENT STORM WATER ORDINANCE. DRAINAGE AREA 3 IS EXEMPT. DRAINAGE AREA 4 IS REQUIRED TO DETERMINE THE DIFFERENCE BETWEEN ITS EXISTING AND PROPOSED CONDITIONS. THEREFORE, THE FOLLOWING DETENTION REQUIREMENT MUST BE MET.

DRAINAGE AREA 1 AND 2 COMBINED - THE 25YR/24HR STORM EVENT REQUIRES 14,855 CUFT OF STORAGE
DRAINAGE AREA 1 AND 2 COMBINED - THE 100YR/24HR STORM EVENT REQUIRES 20,292 CUFT OF STORAGE
DRAINAGE AREA 3 IS EXEMPT AND THEREFORE = 0 CUFT OF STORAGE
DRAINAGE AREA 4 IS THE DIFFERENCE BETWEEN THE STORAGE THAT WOULD HAVE BEEN REQUIRED FOR THE CURRENT CONDITIONS AND THAT WHICH WOULD BE REQUIRED FOR THE PROPOSED CONDITIONS.
- THE 25YR/24HR STORM EVENT REQUIRES (10,628 CUFT - 6,505 CUFT) = 4,123 CUFT
- THE 100YR/24HR STORM EVENT REQUIRES (14,334 CUFT - 8,646 CUFT) = 5,688 CUFT

TOTAL REQUIRED 25YR/24HR STORAGE FOR ALL DRAINAGE AREAS = 18,978 CUFT
TOTAL REQUIRED 100YR/24HR STORAGE FOR ALL DRAINAGE AREAS = 25,980 CUFT

* IF THE ENTIRE SITE WERE TO BE BROUGHT INTO COMPLIANCE WITH THE CURRENT TOWNSHIP STANDARDS FOR STORM WATER DETENTIONS AND ALL AREAS WERE TO BE UTILIZED IN THE CALCULATION THE 25YR/24HR STORAGE REQUIREMENT WOULD BE 35,726 CUFT.
** IF THE ENTIRE SITE WERE TO BE BROUGHT INTO COMPLIANCE WITH THE CURRENT TOWNSHIP STANDARDS FOR STORM WATER DETENTIONS AND ALL AREAS WERE TO BE UTILIZED IN THE CALCULATION THE 100YR/24HR STORAGE REQUIREMENT WOULD BE 48,018 CUFT.

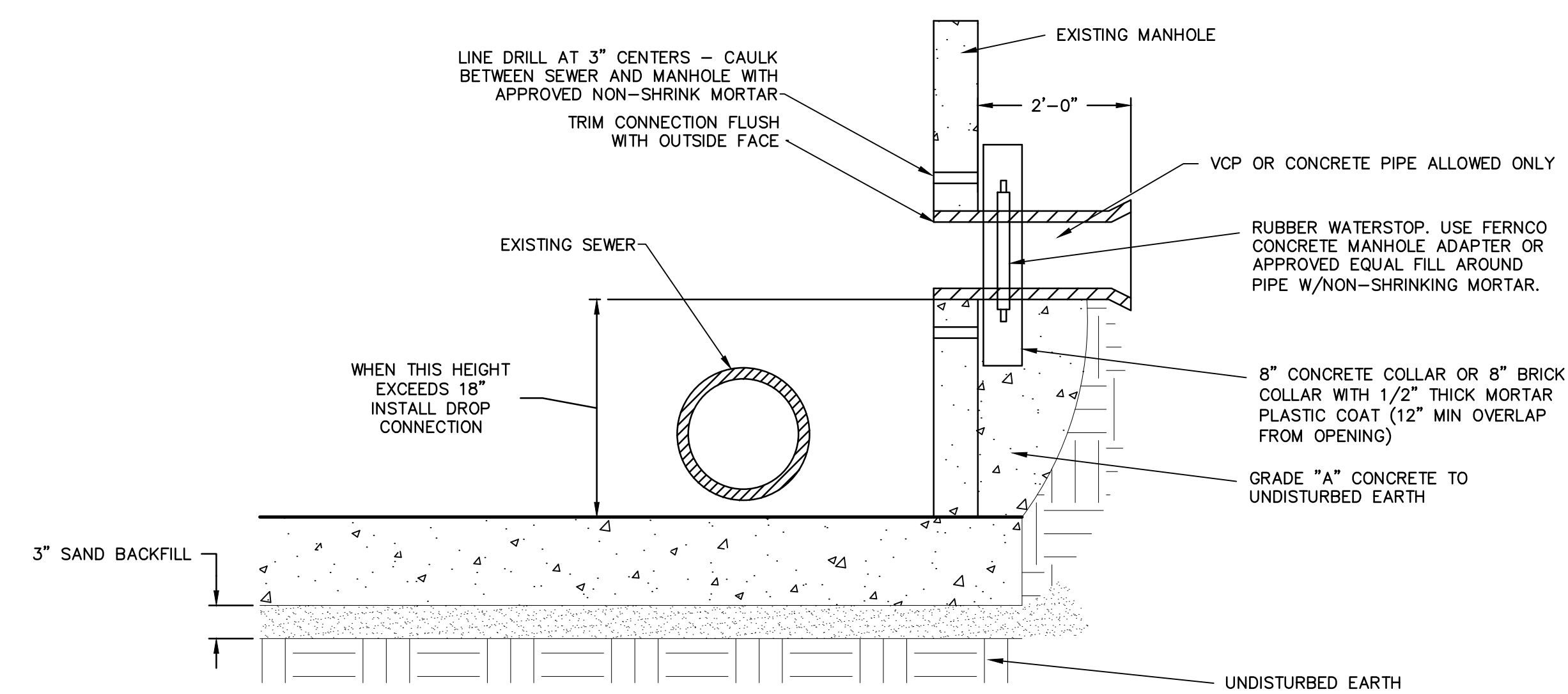
PROVIDED STORM WATER STORAGE CALCULATIONS:

- THE MAXIMUM STORM WATER PONDING ELEVATION OVER THE EXISTING CB AT THE 4" OUTLET IS 757.75.
 $V = 1/3 * B * H = 1/3 * 3,411 \text{ SQFT} * 0.42 \text{ FT} = 477 \text{ CFT}$
- THE MAXIMUM STORM WATER PONDING ELEVATION FOR THE PROPOSED DETENTION AREA LOCATED WITHIN DRAINAGE AREA 1 AND 4 IS 758.0
 $V1 = 1/3 * B * H = 1/3 * 2,269 \text{ SQFT} * 0.6 \text{ FT} = 454 \text{ CFT}$
 $V2 = (B1 + B2) / 2 * H = (2,269 \text{ SQFT} + 6,091 \text{ SQFT}) / 2 * 0.5 \text{ FT} = 2,090 \text{ CFT}$
 $V3 = (B1 + B2) / 2 * H = (6,091 \text{ SQFT} + 7,461 \text{ SQFT}) / 2 * 0.5 \text{ FT} = 3,388 \text{ CFT}$
 $V4 = (B1 + B2) / 2 * H = (7,461 \text{ SQFT} + 14,337 \text{ SQFT}) / 2 * 0.5 \text{ FT} = 5,450 \text{ CFT}$
 $V5 = (B1 + B2) / 2 * H = (14,337 \text{ SQFT} + 18,456 \text{ SQFT}) / 2 * 0.25 \text{ FT} = 4,099 \text{ CFT}$
TOTAL = 15,481 CFT
- THE EXISTING STORM WATER DETENTION POND LOCATED WITHIN DRAINAGE AREA 2 AS PREVIOUSLY CALCULATED BY LAPHAM AND ASSOC. ON THEIR APPROVED PLAN SET SHOWS THE STORAGE AT 758.0 = 20,680 CFT.
TOTAL ALL STORAGE VOLUMES AT OVERFLOW = 36,638 CFT

SUMMARY OF CALCULATIONS:

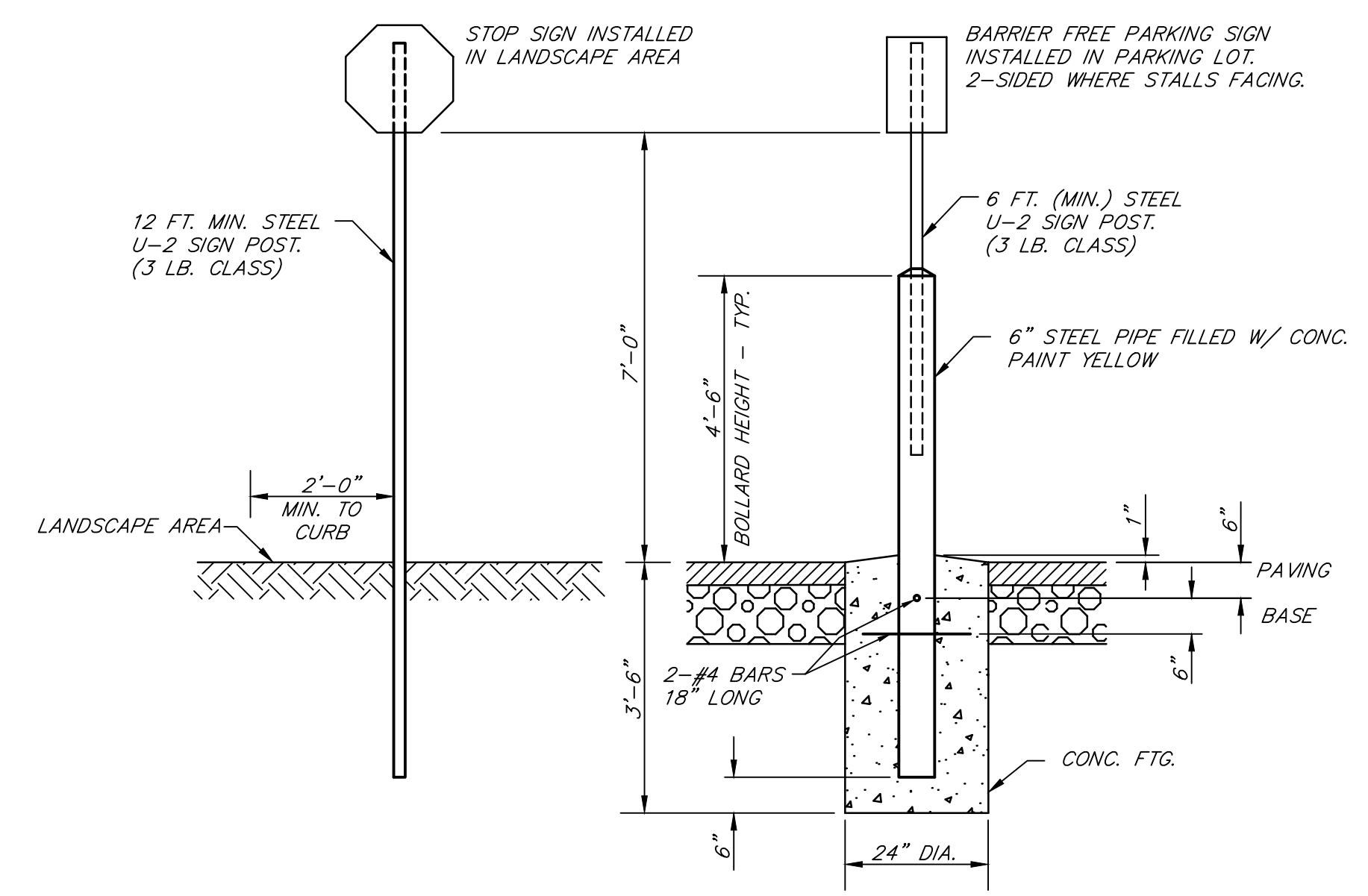
THE REQUIRED 25YR/24HR STORAGE VOLUME REQUIRED BY THE ORDINANCE FOR THAT PORTION OF THE FOUR DRAINAGE AREAS WHICH ARE SUBJECT TO REVIEW UNDER THE PROPOSED PLAN SET = 18,978 CFT.
THE REQUIRED 100YR/24HR STORAGE VOLUME REQUIRED BY THE ORDINANCE FOR THAT PORTION OF THE FOUR DRAINAGE AREAS WHICH ARE SUBJECT TO REVIEW UNDER THE PROPOSED PLAN SET = 25,980 CFT.
THE REQUIRED 25YR/24HR STORAGE VOLUME REQUIRED TO BRING THE ENTIRE COMBINED SITE OF DOUG'S SMALL ENGINE REPAIR AND THE ENTIRE SITE OF INTERNATIONAL RV WORLD INTO COMPLIANCE WITH THE CURRENT TOWNSHIP STORM WATER ORDINANCE = 35,726 CFT.
THE PROVIDED STORAGE AT THE DESIGN OVERFLOWS FOR THE PROPOSED DETENTION AREAS = 36,638 CFT.
THUS, THE PROPOSED STORAGE MEETS THE REQUIRED STORM WATER STORAGE FOR THE 25YR/24HR STORM EVENT AND WILL BRING THE ENTIRE COMBINED SITES INTO COMPLIANCE WITH THE CURRENT UNION TOWNSHIP STORM WATER ORDINANCE.
PLEASE NOTE THAT SHOULD A LARGER STORM EVENT OCCUR, THE SITE WILL OVERFLOW AND RUN TO THE MDOT DITCH LINE TO THE EAST OF INTERNATIONAL RV WORLD.

NOTE: EXCAVATION SHALL EXTEND AROUND ENTIRE PERIMETER OF MANHOLE SO THAT THE DIFFERENTIAL OF EXCAVATION ON OPPOSITE SIDES DOES NOT EXCEED 6 FEET.

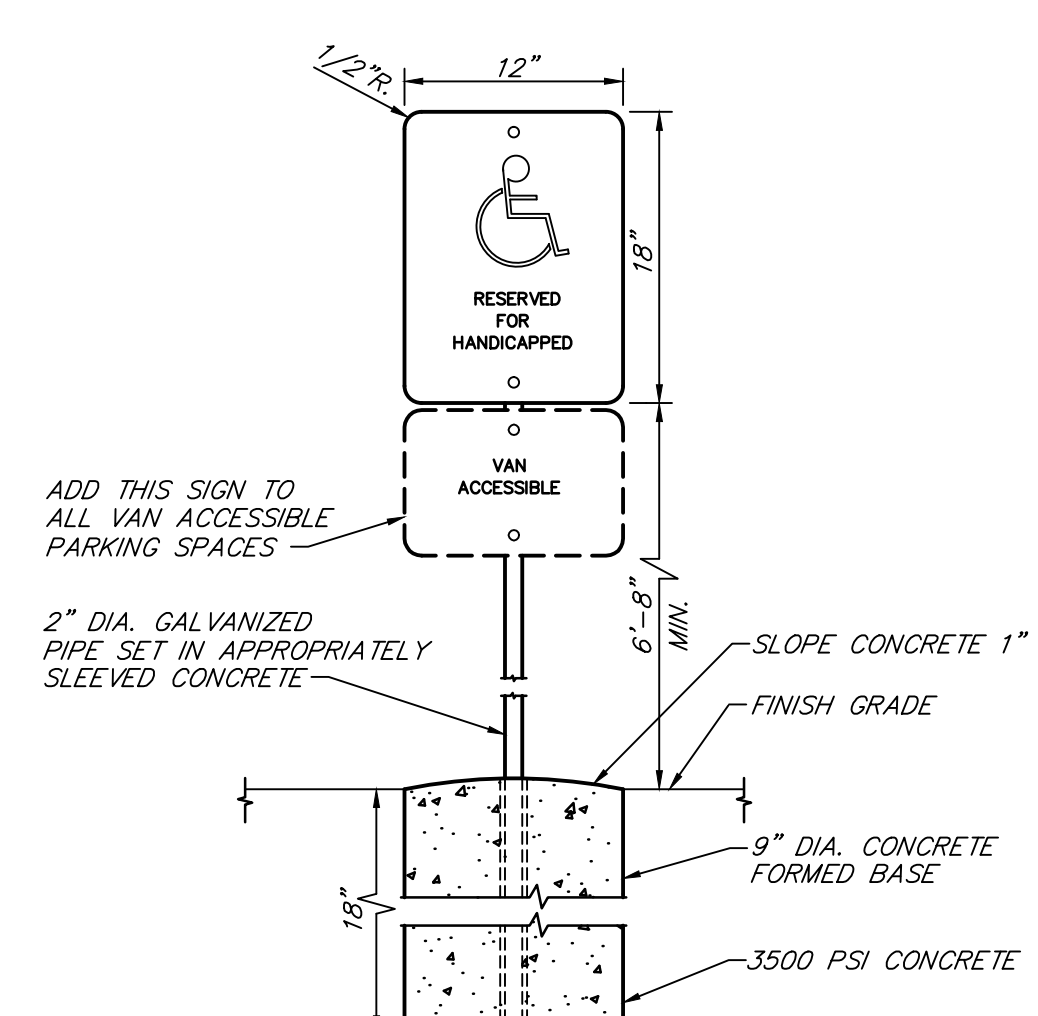


STANDARD CONNECTION TO EXISTING MANHOLE
NOT TO SCALE

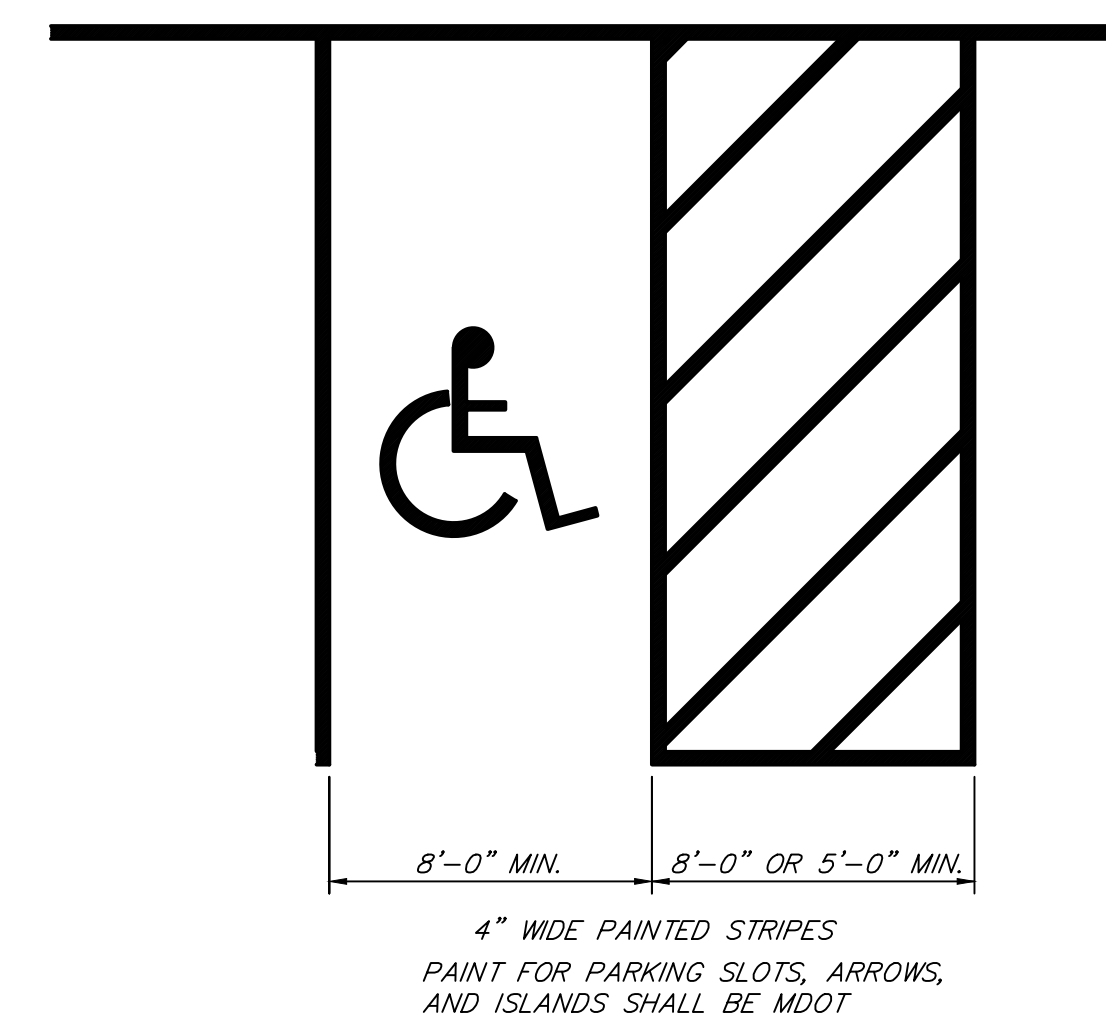
NOTE: MANHOLE RISERS AND CONES SHALL MEET THE REQUIREMENT OF A.S.T.M. SPEC.-C-478 EXCEPT THAT A WALL THICKNESS OF 5" WILL BE REQUIRED. LENGTH OF EACH RISER SHALL BE A MULTIPLE OF 16" LENGTH OF CONE SHALL BE 2'-8" MIN. TWO LIFT HOLES WILL BE PERMITTED IN EACH UNIT, AND MUST BE FILLED WITH NON-SHRINK MORTAR AFTER SETTING MANHOLE.



PARKING LOT SIGN POST DETAILS
NOT TO SCALE



TYP. BARRIER FREE PARKING SIGN
NOT TO SCALE



BARRIER FREE PARKING SPACES
NOT TO SCALE

SOIL EROSION GENERAL NOTES:

- PRIOR TO ANY SITE WORK, CONTRACTOR MUST INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE AS SHOWN ON THE PLANS. IF GRADING AND SHAPING IS TO BE USED IN LIEU OF SILT FENCE, THIS WORK MUST BE CARRIED OUT PRIOR TO STRIPPING OF TOPSOIL.
- CONTRACTOR TO INSTALL TEMPORARY SEDIMENTATION COLLECTION BAGS IN EACH CATCH BASIN LOCATED IN THE ROADWAYS OR PARKING LOTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE & REPLACEMENT OF BAGS AS NEEDED. BAGS TO BE REMOVED ONLY AFTER SITE HAS BEEN STABILIZED AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR TO STOCKPILE SOIL ON SITE AT A MAXIMUM SLOPE OF 1 ON 3. ALL SPOIL PILES ARE TO BE SEED TO MAINTAIN SLOPE STABILITY.
- EXCESS TOPSOIL IS TO BE REMOVED FROM SITE. CONTRACTOR TO COORDINATE THESE ACTIVITIES WITH PROPERTY OWNER. CONTRACTOR TO ENSURE THAT A MINIMUM 50' BUFFER STRIP IS MAINTAINED BETWEEN ALL STOCKPILES & PROPERTY LINE.
- ALL STOCKPILES THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS ARE TO BE SEED AND STABILIZED.
- CONTRACTOR WILL TAKE ALL NECESSARY STEPS TO ELIMINATE SOILS/SEDIMENT FROM LEAVING THE PROJECT SITE.
- THE CONTRACTOR MUST KEEP STREETS FREE OF SEDIMENTATION OR TAKE STEPS TO CLEAN STREETS.
- SOIL EROSION MAY ALSO OCCUR WHEN SOILS ARE DRY. SOIL EROSION DUE TO BLOWING WINDS MUST BE MINIMIZED BY USE OF WATER TANK TRUCKS.
- AS SOON AS POSSIBLE SOILS WILL BE COMPACTED TO MINIMIZE SOIL EROSION. IF SOILS ARE LEFT UNCOMPACTED FOR LENGTHY PERIODS THEY MUST BE SEED TO MINIMIZE SOIL EROSION.
- TEMPORARY MEASURES SHALL STAY IN PLACE UNTIL THE CONSTRUCTION ACTIVITIES HAVE ENDED AND/OR THE PERMANENT MEASURES ARE COMPLETED.
- UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN ALL SUMPS AND SEDIMENTATION TRAPS.
- CONTRACTOR IS TO ENSURE THAT ALL CONTROL MEASURES ARE ADEQUATELY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

CMS & D
SURVEYING / ENGINEERING
510 W. PLYMOUTH STREET SUITE C
MT. PLEASANT, MICHIGAN 48858
MT. PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

CONSTRUCTION DETAILS
INTERNATIONAL RV WORLD
PART OF THE SOUTHWEST 1/4 OF SECTION 12,
T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:			
SCALE	1" = 20'		
JOB NUMBER:	1608-121	DRAWN BY:	RL
SUBMITTALS:	SUBMITTAL TO TWP. REVIEW AGENTS 9-26-16	DESIGNED BY:	TELB
	SITE PLAN SUBMITTAL TO UNION TWP. 10-3-16	CHECKED BY:	TELB
SHEET NUMBER	5	OF	5

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review ~~Final Site Plan Review~~
- II. Applicant Name Douglas Gill
- III. Applicant Address 4628 N. Whiteville Road, Rosebush, MI 48878
- IV. Applicant Phone (989) 621-8516 Owner Phone (989) 621-8516
- V. Applicant is (circle) ~~Contractor Architect/Engineer Developer~~ Land Owner (skip V & VI)
Other
- VI. Land Owner Name _____
- VII. Land Owner Address _____
- VIII. Project/Business Name _____
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

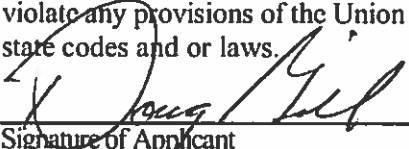
SUBMITTALS TO OTHER AGENCIES	Of	
Storm water management plan approval prior to application. Reviewed by the County Engineer (In process - stormwater detention has been designed, resolving outlet for detention basin)	<input type="checkbox"/>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	<input checked="" type="checkbox"/>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies. (In Process - Plan submitted to ICRC)
Mt. Pleasant Fire Dept. (In process - plan submitted to fire department)	<input checked="" type="checkbox"/>	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC) (In process - plan submitted to ICTC)	<input checked="" type="checkbox"/>	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	<input checked="" type="checkbox"/>	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS	1 Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner Name and Address of Applicant	<input checked="" type="checkbox"/>	Doug Gill, 5293 E. Pickard Road Mt. Pleasant, MI 48858 Phone: (989) 773-0059
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	<input checked="" type="checkbox"/>	Type 3B, MI Building Code, Building will not be equipped with automatic sprinkler system

Union Township Site Plan Review Application 2015 Revision

<p>The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.</p>	√	(Shown)
<p>All lot and/or property lines are to be shown and dimensioned, including building setback lines</p>	√	(Shown)
<p>The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - drives, ----- sidewalks, (required) ----- curb openings, ----- acceleration/deceleration lanes, ----- signs, ----- exterior lighting on buildings and parking lots, - - parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), ----- recreation areas, ----- common use areas, ----- areas to be conveyed for public use and purpose. -</p>	√	(Shown)
<p>Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation</p>	√	(See JBS plans)
<p>Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application. (Service Lines shown connecting to public utilities)</p>	√	<p>Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department</p>
<p>All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)</p>		(No dumpster proposed)
<p>The location and right-of-way width of all abutting roads, streets, alleys and easements.</p>	√	(right of way shown - Airway has 49.5' total R/W width)
<p>A locational sketch drawn to scale giving the section number and the nearest crossroads.</p>	√	(Location map on C1)

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.



Signature of Applicant

9/22/16

Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE October 18, 2016 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

Township use	Review Comments
SPR File # <u>2016-15</u>	_____
Fee Paid initial <u>Yes \$225</u>	_____
Receipt # <u>75307</u>	_____
Date received <u>9-22-16</u>	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Doug's Small Engine

Name of business owner(s): Doug Gill

Street and mailing address: 5293 E. Pickard Road, Mt. Pleasant, MI 48858

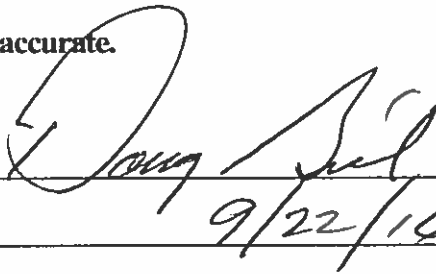
Telephone: (989) 773-0059

Fax: _____

Email: trailroster@aol.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:


9/22/16

Information compiled by:

Pete Lorenz, P.E., P.S.
Lorenz Surveying & Engineering, Inc.
3229 W. Beal City Road, Weidman, MI 48893

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.

2. Y N Will the hazardous substances or polluting materials be reused or recycle on-site?

3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.

4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?

5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?

If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)

6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
 - a. on-site holding tank
 - b. on-site system
The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)

7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Pollutants Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the amount on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME
	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas		



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), Permit Section
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	AQD, Asbestos Program
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the Land and Water Management Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), Joint Permit Application
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Soil Erosion and Construction Storm Water , or Contact your Local Agency
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES Storm Water Permits Program , or appropriate DEQ District Office
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Public Swimming Pool Program , or appropriate DEQ District Office
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, Threatened and Endangered Species Program , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate District Office , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), Solid Waste , Appropriate DEQ District Office
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, Treatment, Storage and Disposal
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your Local Water Utility
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) Local Health Department
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Guide , Contact your (District or County) Local Health Department
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Community Water Supply, DEQ District Office Community Water Supply Program

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?			
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS			
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)			
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

Union Township Site Plan Review Application 2015 Revision

UNION TOWNSHIP CONSTRUCTION CONTACTS

Building & Zoning Permits
Sign Permit
Water and Sewer review
Site Plan Review

Charter Township of Union
2010 S. Lincoln Rd
Mt. Pleasant, MI 48858

(989) 772 4600 (switchboard)
(989) 773 1988 (FAX)

Building Official
Randy Robinson - Ext. 227
rrobinson@uniontownshipmi.com

Zoning Administrator
Peter Gallinat - Ext. 241
pgallinat@uniontownshipmi.com

Public Works Coordinator
Kim Smith - Ext. 224
ksmith@uniontownshipmi.com

Road Permits
(submit (2) copies of site plan directly to proper authority prior to Site Plan Review)

State Highways M 20 and US 127 (portions of E. Pickard Rd, E Remus Rd, and Mission Rd)

MDOT
1212 Corporate Drive
Mt. Pleasant, MI 48858
(989) 773-7756 FAX 775 6329

All other roads

Isabella County Road Commission
2261 E. Remus Rd
Mt. Pleasant, MI 48858
(989) 773 7131 (FAX) 772 2371

ICTC
2100 E Transportation Dr
Mt. Pleasant, MI 48858
(989)772-9441

Union Township Site Plan Review Application 2015 Revision

Storm Water Management Plan

Submit (2) copies of Storm Water Management Plan directly to county engineer prior to Site Plan Review
Code - Union Township Ord. 1992-9 Storm Water Management

Isabella County Building

Resource Management
ATTN: Bruce Rohrer PE
200 N. Main St.
Mt. Pleasant, MI 48858

(989) 772 0911 Ext. 231 (FAX) 773 7431

Plumbing, Electrical, Mechanical Permits

Isabella County Building
Inspections
ATTN: (SEE FOLLOWING LIST)
200 N. Main St.
Mt. Pleasant, MI 48858
(989) 772 0911 Ext. (SEE FOLLOWING) (FAX) 773 7431

Electrical Inspector
Tim Wardwell - Ext. 230

Plumbing and Mechanical Inspector
Doug Elias - Ext. 228

Fire Department Review

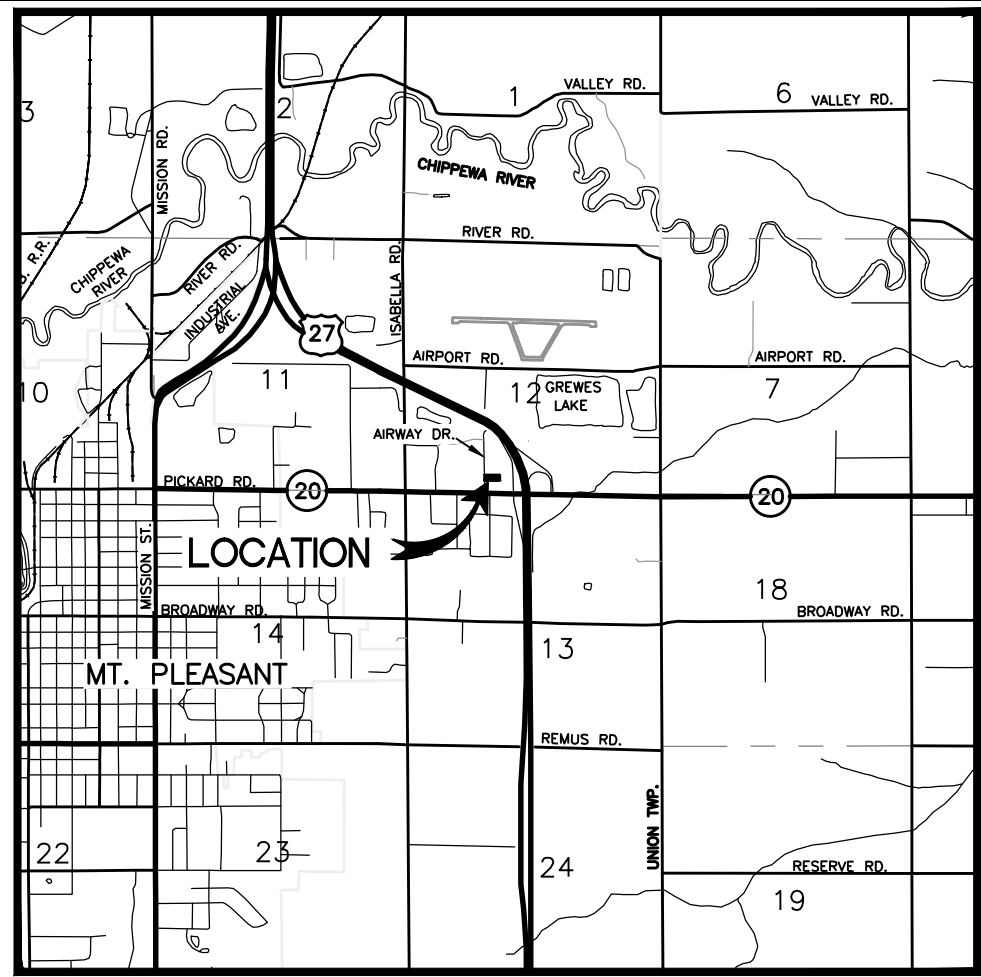
Sgt. Randy Keeler
804 E. High St.
Mt. Pleasant, MI 48858
(989) 779-5122 (FAX) 773 4020
rkeeler@mt-pleasant.org

Addressing

Isabella County Building Official (989) 772 0911, Ext 228

Miscellaneous

Phone - GTE (800) 483 5600, Verizon (800) 483 4000
Gas/Electric - Consumer Energy (800) 572 4788, MichCon (800) 477 4747 Central MI Dist. Health Dept. (989) 773 5921
Miss Dig (800) 482 7171



LOCATION MAP
SCALE: 1"=4000'

DESCRIPTION

S 1/2 L 10, N 1/2 L 7, W 1/2 L 7, O 1/2 L 7, L 3 P 167, U 167, T 167, C 167, M 167

BENCHMARK

BM #1
SET A CHISELED "X" ON NE. HYDRANT
FLANGE BOLT NEAR SW. CORNER OF THE SITE.
ELEV.: 759.72'
DATUM: NAVD88, GEOID12A

LEGEND

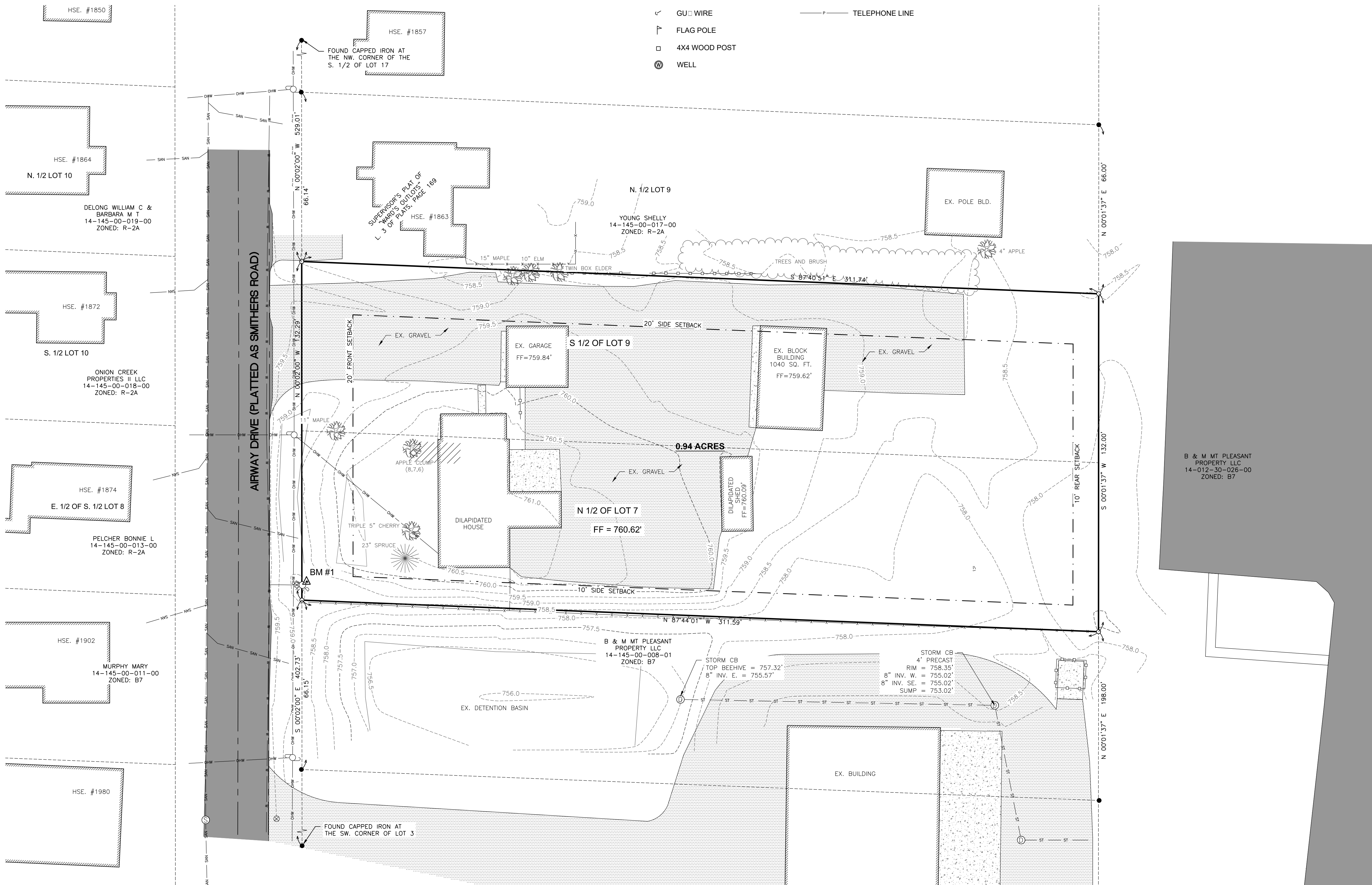
- ⊙ STORM SEWER MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ CURB STOP
- FOUND PROPERTY CORNER
- SET CAPPED IRON 46677
- FOUND CONC. MONUMENT
- ⊕ TELEPHONE PEDESTAL
- ☆ LIGHT POLE
- ⊖ SIGN
- ⊙ UTILILITY POLE
- ⊖ GUY WIRE
- ⊖ FLAG POLE
- 4X4 WOOD POST
- ⊙ WELL
- ⊙ EXISTING DEC. TREE
- ⊙ EXISTING CON. TREE
- ⊙ EXISTING SHRUB OR BUSH
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- W — WATER LINE
- SAN — SANITARY SEWER LINE
- ST — STORM SEWER LINE
- OWH — OVERHEAD WIRE
- GAS — GAS LINE
- P — TELEPHONE LINE

SHEET INDEX

- C-1 TOPO. SURVEY & DEMOLITION PLAN
- C-2 DEMOLITION PLAN
- C-3 SITE PLAN
- C-4 GRADING PLAN
- C-5 STORM WATER MANAGEMENT PLAN
- C-6 DETAILS

GENERAL NOTES

1. SHOWN UNDERGROUND UTILITY LOCATIONS REFLECT INFORMATION COLLECTED FROM UTILITY OWNERS AND VISIBLE MARKERS FOUND AT THE TIME OF SURVEY. SHOWN LOCATIONS ARE NOT INTENDED TO BE EXACT AND CONTRACTORS MUST VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.



PLAN ISSUE: PRELIMINARY

NO.	DATE	DESCRIPTION
1	07/30/16	SWAMP REVISIONS
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW

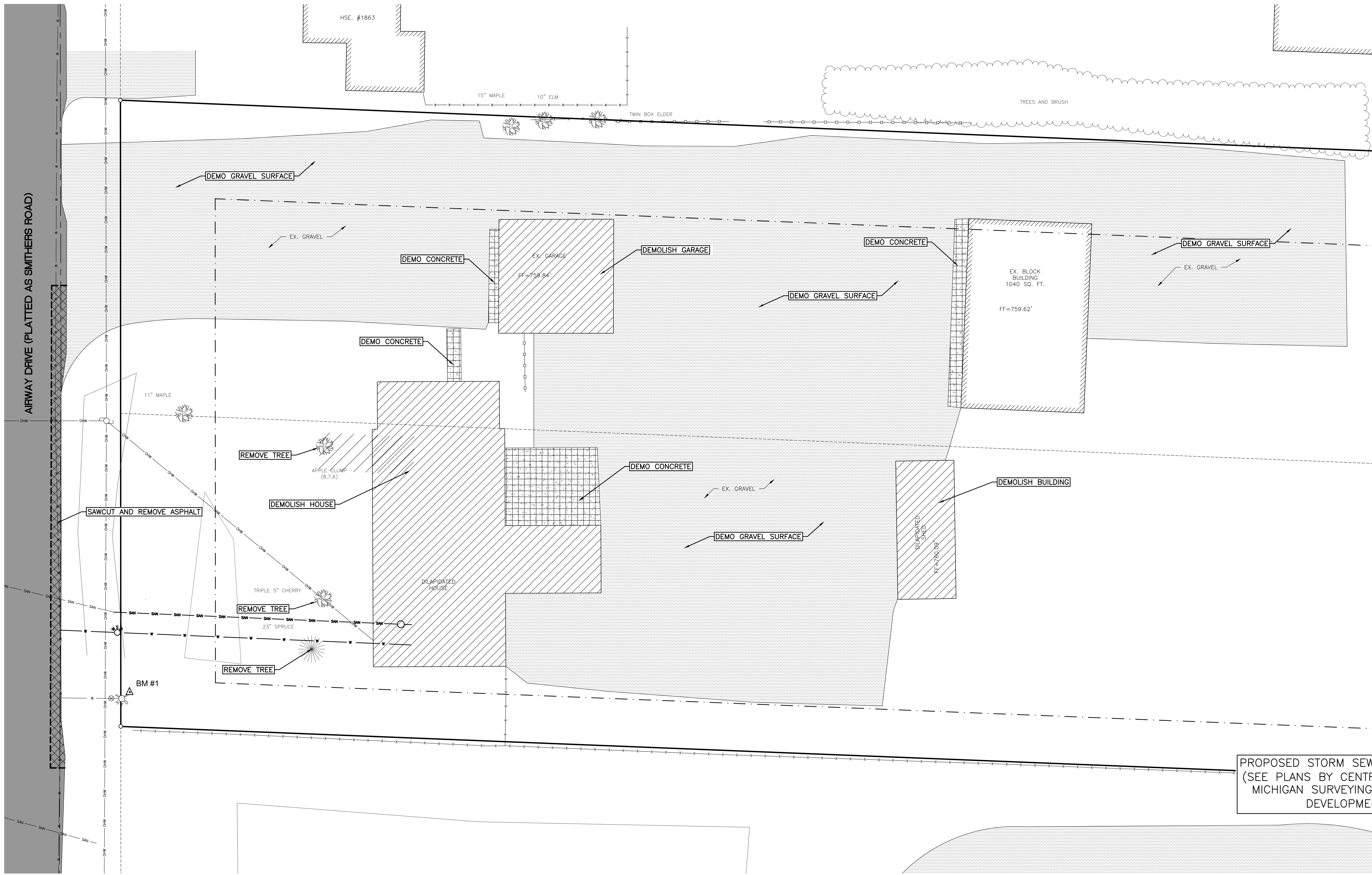
REVISIONS

TOPOGRAPHIC SURVEY
DOUG'S SMALL ENGINE
 Section 12, T14N., R4W, Union Township,
 Isabella County, Michigan

LORENZ SURVEYING & ENGINEERING, INC.
 3229 W. Beal City Road
 Weidman, Michigan 48893
 Phone: (989) 644-5953
 Fax: (989) 644-8659
 plorenz@vmmel.net

PROJECT NO: 160060
 SCALE: 1"=20'
 DRAWN BY: TPL
 DATE: 07/21/16
 SHEET NO: **C1**





PLAN ISSUE:			
PRELIMINARY			
NO.	DATE	DESCRIPTION	REVISIONS
1	07/20/16	SWAMP REVISIONS	
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW	

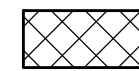



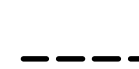
DEMOLITION PLAN
DOUG'S SMALL ENGINE
 Section 12, T14N., R4W, Union Township,
 Isabella County, Michigan

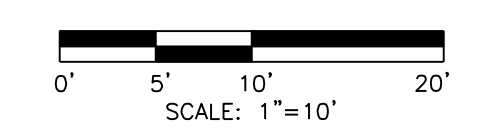
Lorenz & Surveying & Engineering, Inc.
 3229 W. Beal City Road
 Weidman, Michigan 48893
 Phone: (989) 644-5953
 Fax: (989) 644-8659
 plorenz@winme1.net

PROJECT NO.: 160060
 SCALE: 1"=10'
 DRAWN BY: TPL
 DATE: 07/21/16
 SHEET NO. **02**

PROPOSED STORM SEW
 (SEE PLANS BY CENTR
 MICHIGAN SURVEYING
 DEVELOPEM)

DEMOLITION LEGEND

-  REMOVE ASPHALT
-  REMOVE CONCRETE
-  DEMOLISH BUILDING
-  REMOVAL AS INDICATED
-  SAWCUT LINE



ZONING

ONED: R-2 (RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT)

MIN. LOT WIDTH
REQUIRED = 130 FT.
PROVIDED = 132.2 FT.

MIN. LOT AREA
REQUIRED = 20,000 SQ. FT.
PROVIDED = 41,152 SQ. FT.

MAX. BUILDING HEIGHT = 35'

MIN. FRONT YARD SETBACK = 15 FT.
20 FT. MIN. FROM RESIDENTIAL DISTRICT

MIN. SIDE YARD SETBACK = 10 FT.
20 FT. MIN. FROM A RESIDENTIAL DISTRICT

MIN. REAR YARD = 10 FT.
20 FT. MIN. FROM A RESIDENTIAL DISTRICT

MAX. LOT COVERAGE (BUILDINGS) = 30%

PROP = 10,000 / 41,152 = 24.3%

SIGNS

SIGNS TO BE IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS.

ONING OFFICIAL APPROVAL AND SIGN PERMIT ARE REQUIRED PRIOR TO INSTALLATION OF SIGNS.

PARKING

REQUIRED: ONE (1) FOR EACH THREE (3) EMPLOYEES ON THE MAXIMUM SHIFT OR PEAK EMPLOYMENT PERIOD.

2 EMPLOYEES MAX. PROPOSED = 1 REQUIRED SPACE

PROPOSED: 3 EMPLOYEE SPACES AT 10'X20' (200 SQ. FT.)
1 PROPOSED VAN ACCESSIBLE H.C. SPACE

LAND AREA

PARCEL ACREAGE = 41.152 SQ. FT.
= 0.94 ACRES

CONSTRUCTION TYPE

TYPE 3 (M) BUILDING CODE
BUILDING WILL NOT BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM.

PROPERTY OWNER & APPLICANT

DOUG GILL
5233 E. PICCARD ROAD
MT. PLEASANT MI 48858
PHONE: 810-773-005

DESCRIPTION

S 1/2 LOT 9 N 1/2 LOT 7 W 1/2 LOT 8
LOT 3 P 167 U 0000 0000 0000 0000 0000 0000 0000 0000 0000 0000

SITE LIGHTING

ALL LIGHTING FIXTURES SHALL BE DOWN-SHIELDED. ALL PROPOSED LIGHTING TO BE ON THE BUILDING WALL-PACKED.

PLAN ISSUE: PRELIMINARY

NO.	DATE	DESCRIPTION	REVISIONS
1	07/20/16	SWAMP REVISIONS	
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW	

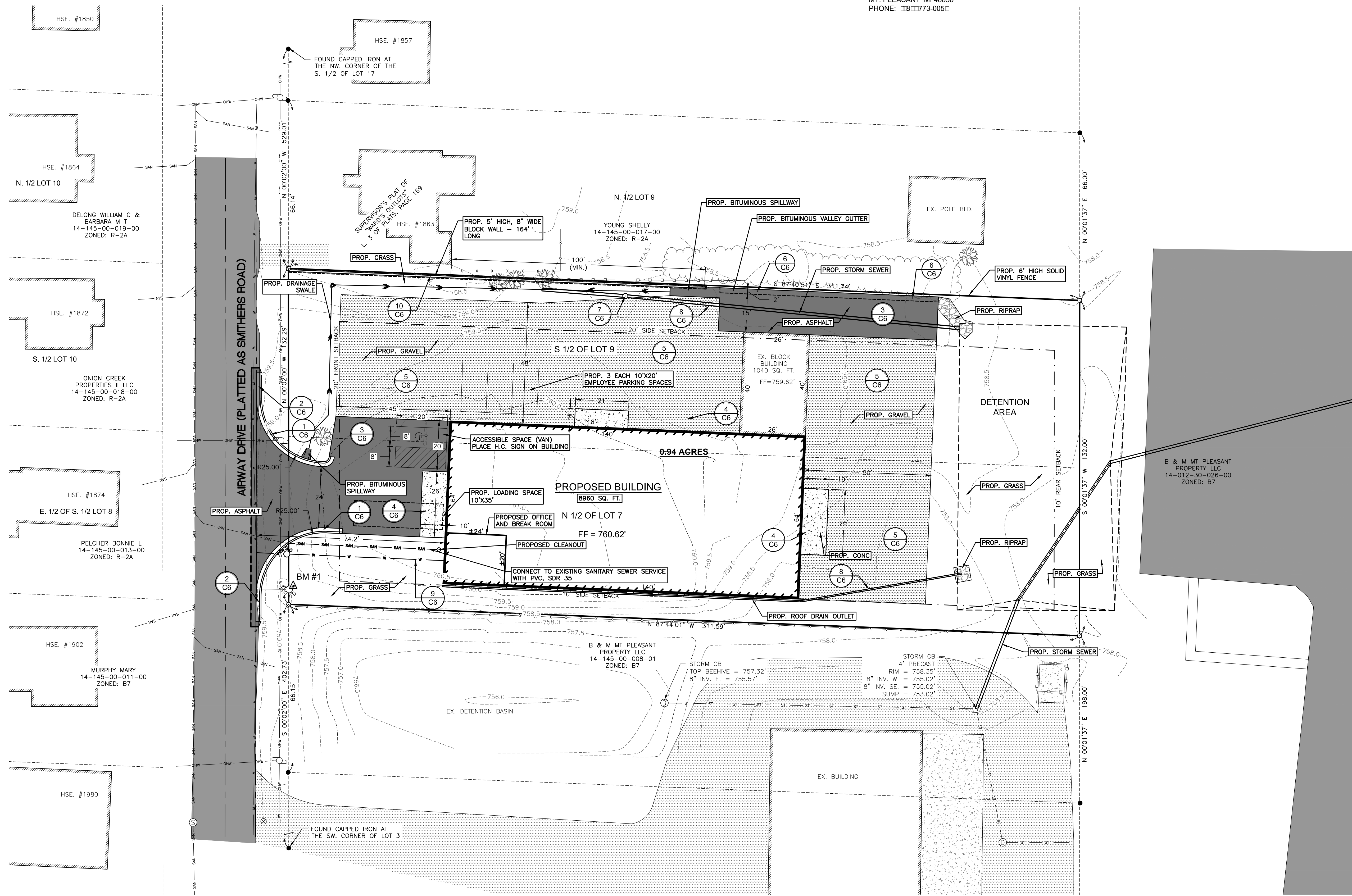
NO.	DATE	DESCRIPTION
1	07/20/16	SWAMP REVISIONS
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW

SITE PLAN

DOUG'S SMALL ENGINE
Section 12, T14N., R4W, Union Township,
Isabella County, Michigan

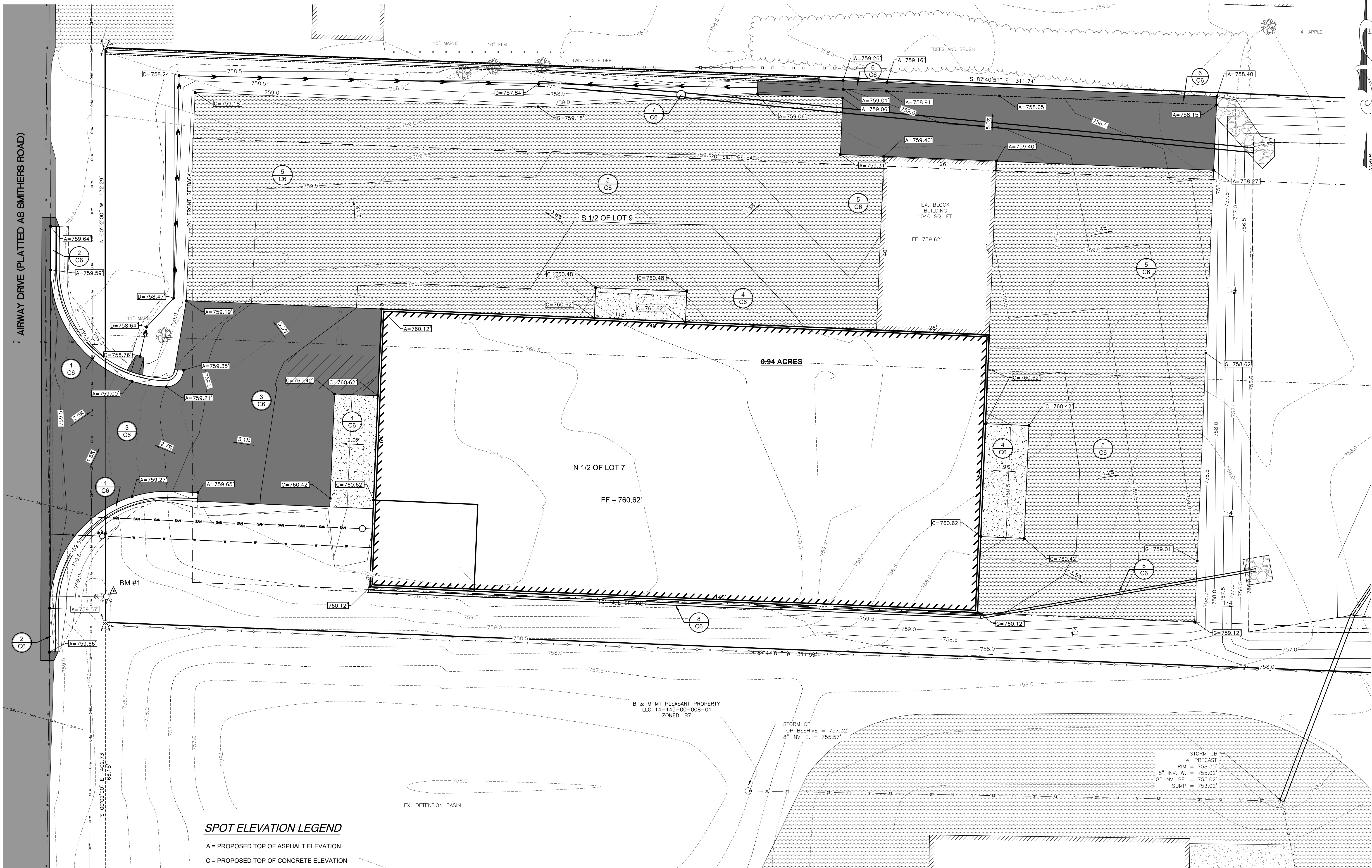
Lorenz & Surveying & Engineering, Inc.
3329 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vmmel.net

PROJECT NO.: 160060
SCALE: 1"=20'
DRAWN BY: TPL
DATE: 07/21/16
SHEET NO. **C3**



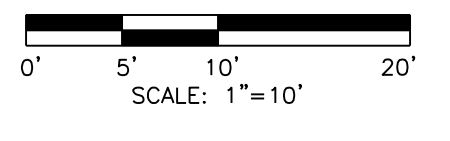
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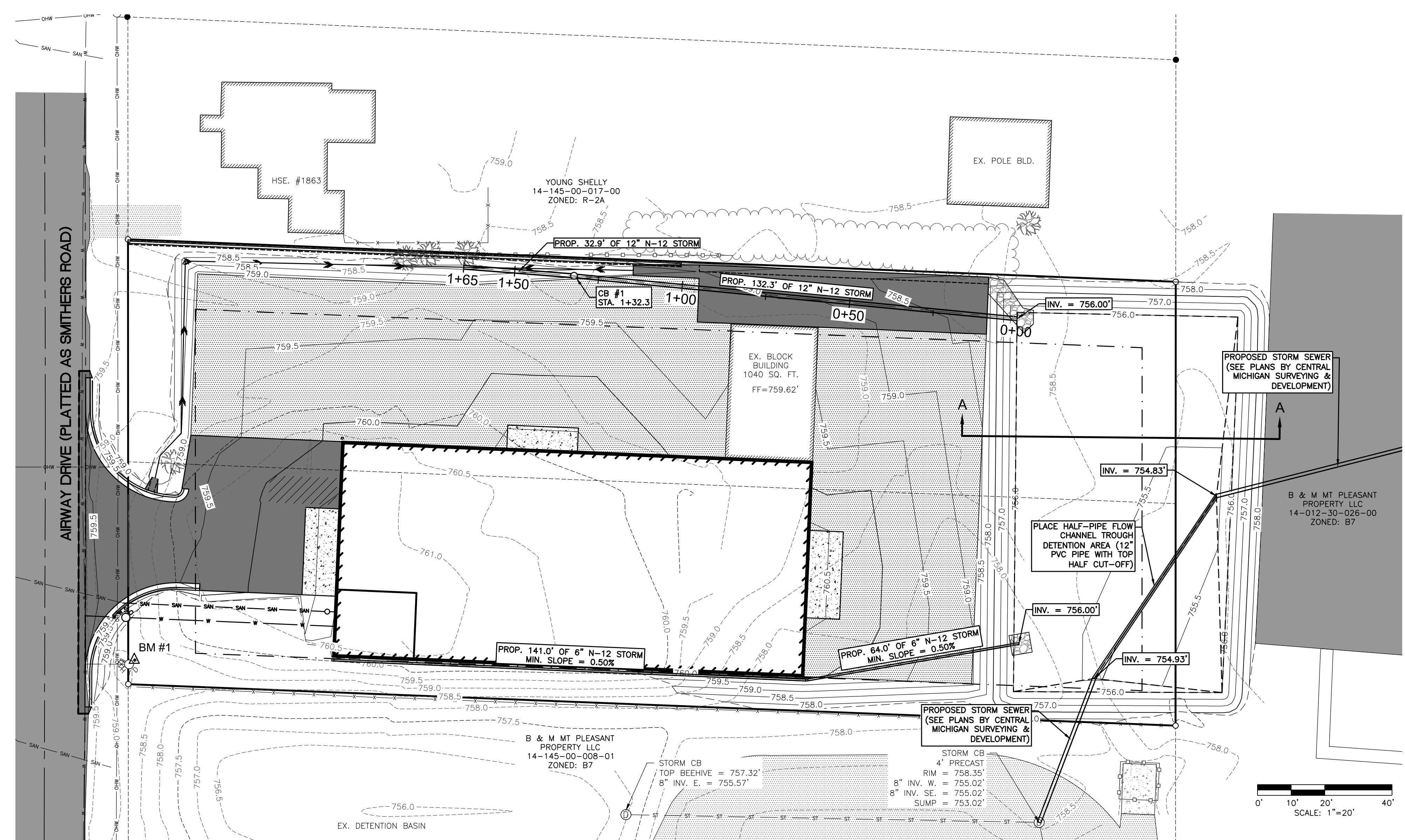
SPOT ELEVATION LEGEND

A = PROPOSED TOP OF ASPHALT ELEVATION
 C = PROPOSED TOP OF CONCRETE ELEVATION
 E = EXISTING ELEVATION - FIELD VERIF
 G = PROPOSED GRAVEL ELEVATION
 R = PROPOSED RIM FLOWLINE ELEVATION
 D = PROPOSED DITCH ELEVATION



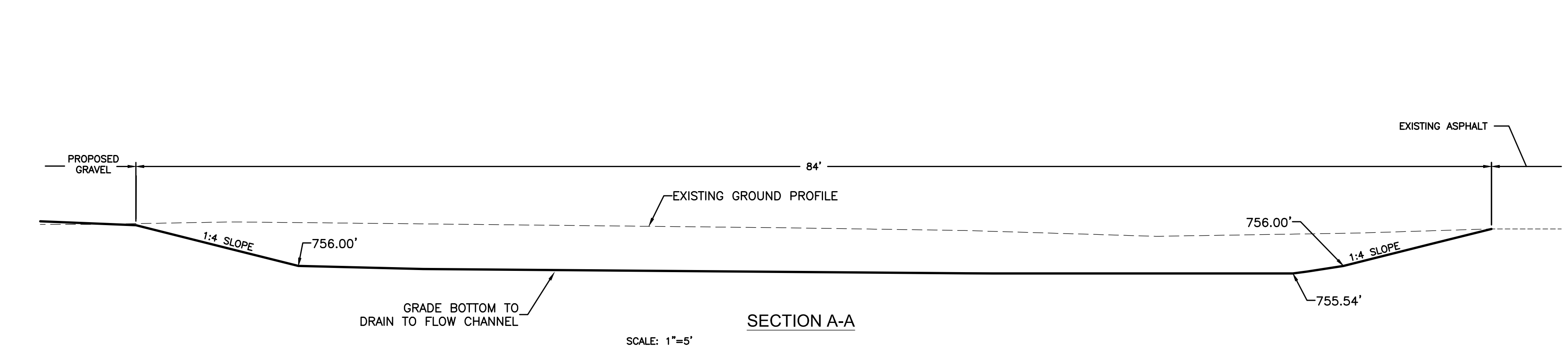
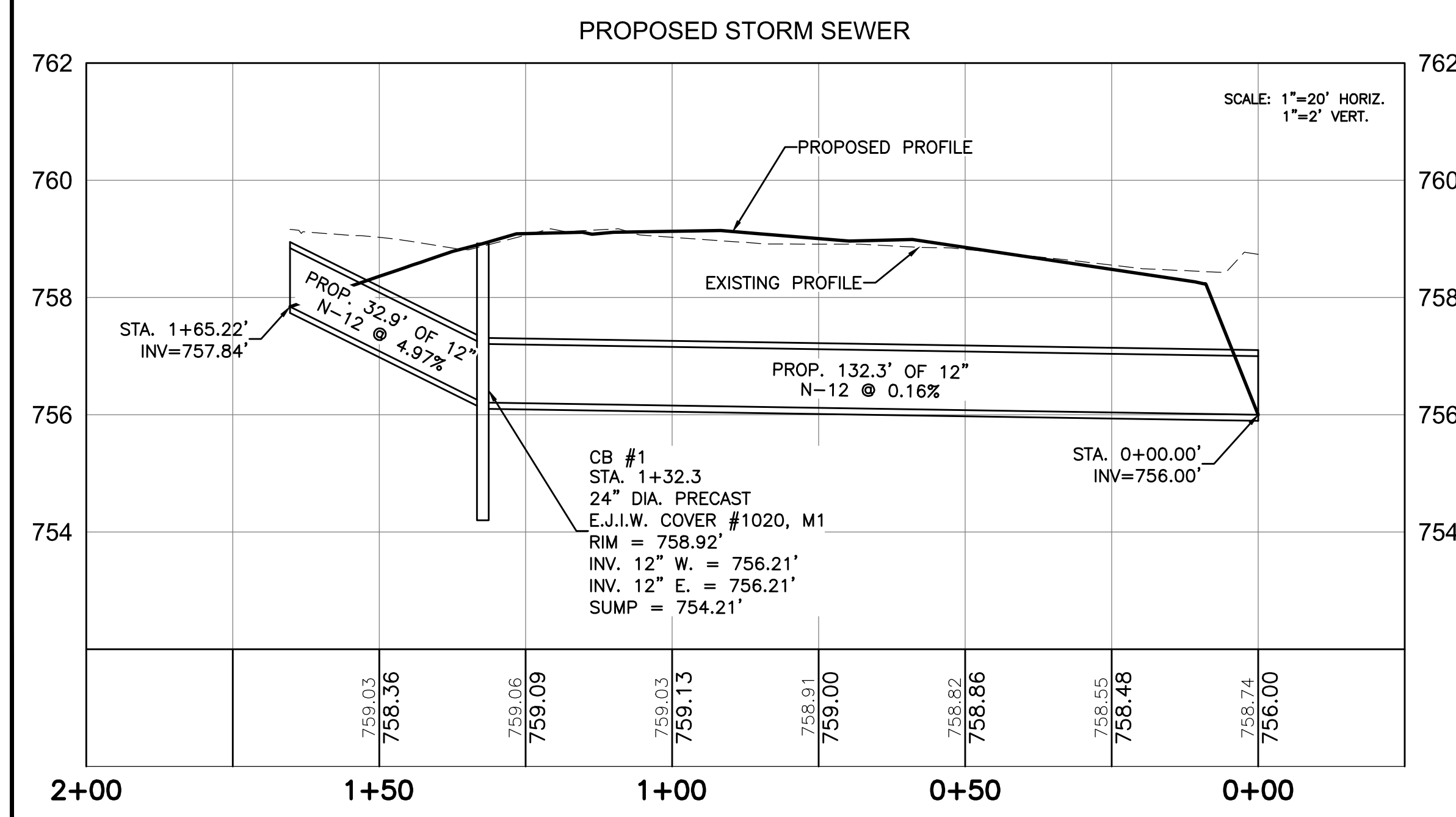
811 Know what's below.
 Call before you dig.
 1-800-482-7171 or 811

PLAN ISSUE: PRELIMINARY		
NO.	DATE	DESCRIPTION
1	01/30/16	SWAMP REVISIONS
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW
<p>GRADING PLAN</p> <p>DOUG'S SMALL ENGINE Section 12, T14N., R4W, Union Township, Isabella County, Michigan</p>		
<p>LORENZ SURVEYING & ENGINEERING, INC. 3229 W. Beal City Road Weidman, Michigan 48893 Phone: (989) 644-5953 Fax: (989) 644-8659 plorenz@wimmel.net</p>		
PROJECT NO.	160060	
SCALE:	1"=10'	
DRAWN BY:	TPL	
DATE:	07/21/16	
SHEET NO.	C4	



ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)
754.9	3.21	N/A	N/A	0.00
755.0	27.83	0.1	1.55	1.55
755.1	100.22	0.1	6.40	7.95
755.2	222.04	0.1	16.11	24.07
755.3	393.27	0.1	30.77	54.83
755.4	807.12	0.1	60.02	114.85
755.5	1,818.56	0.1	131.28	246.14
755.6	2,875.67	0.1	234.71	480.85
755.7	3,941.02	0.1	340.83	821.68
755.8	5,014.61	0.1	447.78	1269.46
755.9	6,096.43	0.1	555.55	1825.02
756.0	7,188.98	0.1	664.27	2489.29
756.1	7,330.39	0.1	725.97	3215.26
756.2	7,472.90	0.1	740.16	3955.42
756.3	7,616.52	0.1	754.47	4709.89
756.4	7,761.23	0.1	768.89	5478.78
756.5	7,907.04	0.1	783.41	6262.19
756.6	8,053.96	0.1	798.05	7060.24
756.7	8,201.97	0.1	812.80	7873.04
756.8	8,351.09	0.1	827.65	8700.69
756.9	8,501.31	0.1	842.62	9543.31
757.0	8,652.62	0.1	857.70	10401.01
757.1	8,805.04	0.1	872.88	11273.89
757.2	8,958.56	0.1	888.18	12162.07
757.3	9,113.18	0.1	903.59	13065.66
757.4	9,268.90	0.1	919.10	13984.76
757.5	9,445.88	0.1	935.74	14920.50
757.6	9,656.64	0.1	955.13	15875.63
757.7	9,896.76	0.1	977.67	16853.30

- NOTES**
1. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.
 2. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.
 3. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.
 4. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.
 5. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.
 6. The proposed storm sewer system is shown on this plan. The proposed storm sewer system is shown on this plan.



STORM WATER MANAGEMENT PLAN

DOUG'S SMALL ENGINE
Section 12, T14N., R4W, Union Township,
Isabella County, Michigan

LORENZ & SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vmmel.net

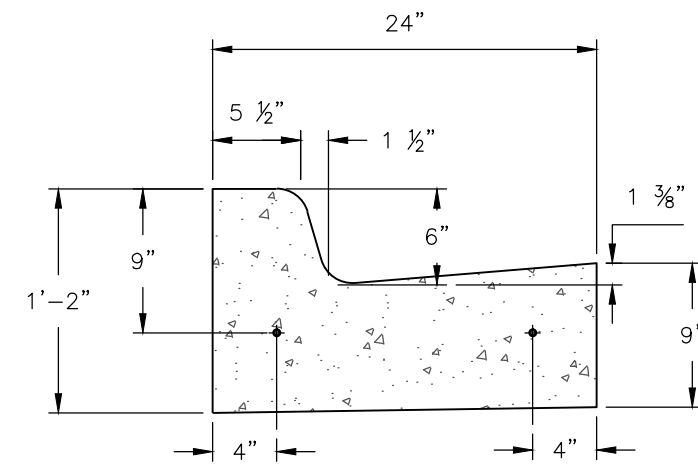
PROJECT NAME: **STORM WATER MANAGEMENT PLAN**

DATE: 07/21/16

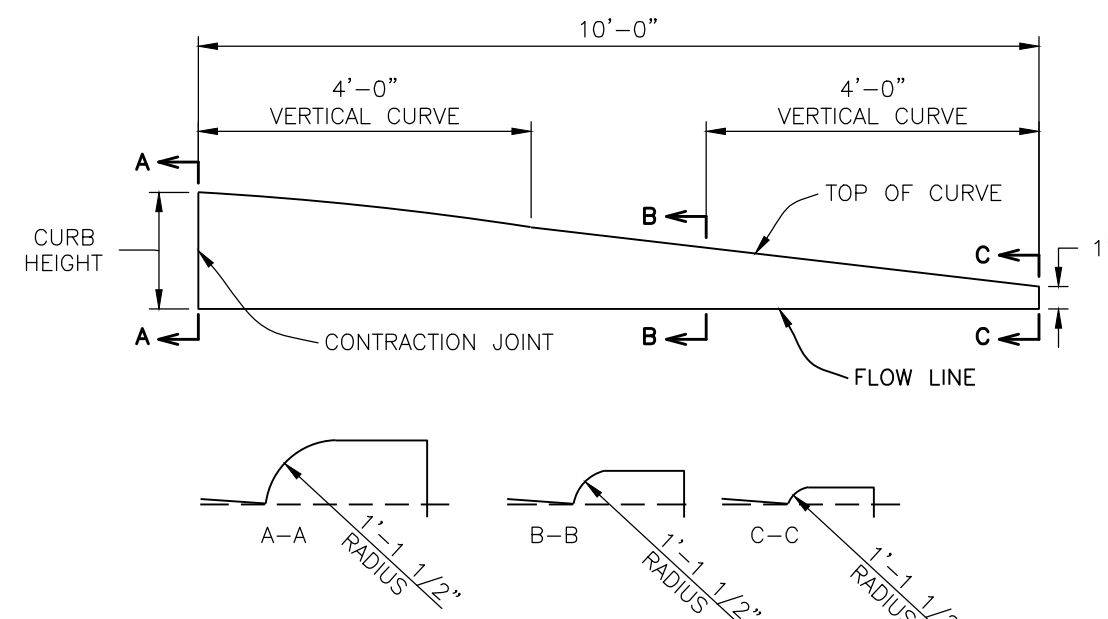
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DRAWN BY: TPL

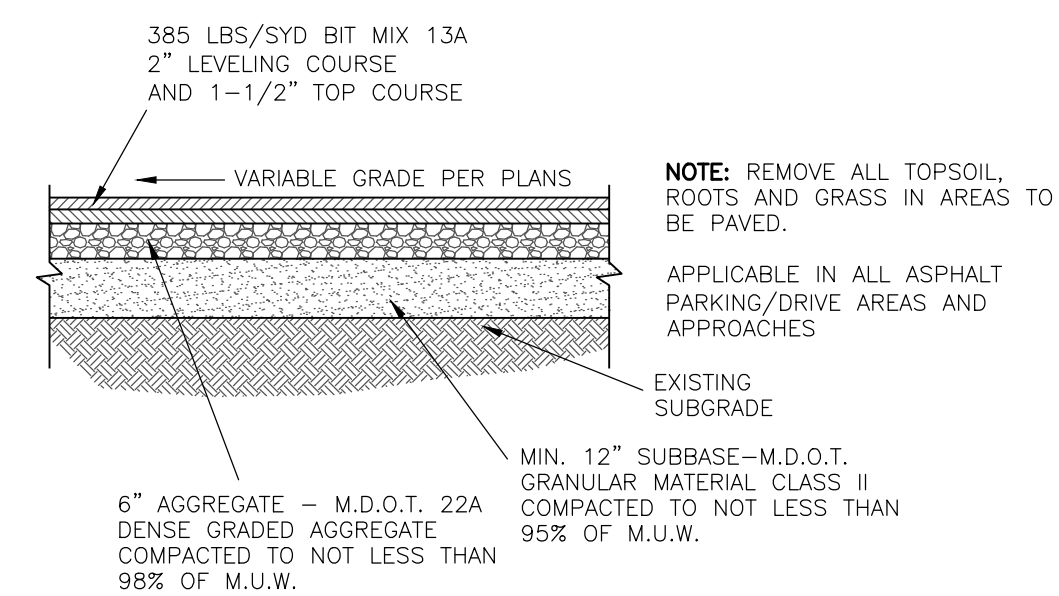
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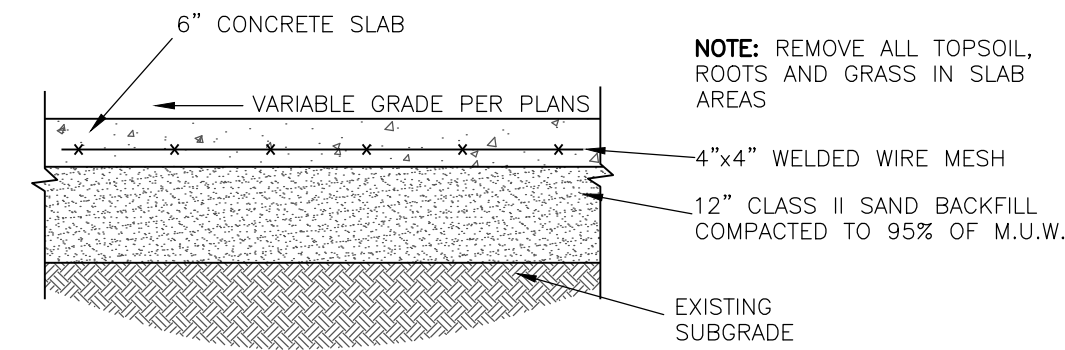
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C6 **MDOT TYPE F4 CURB**
NO SCALE



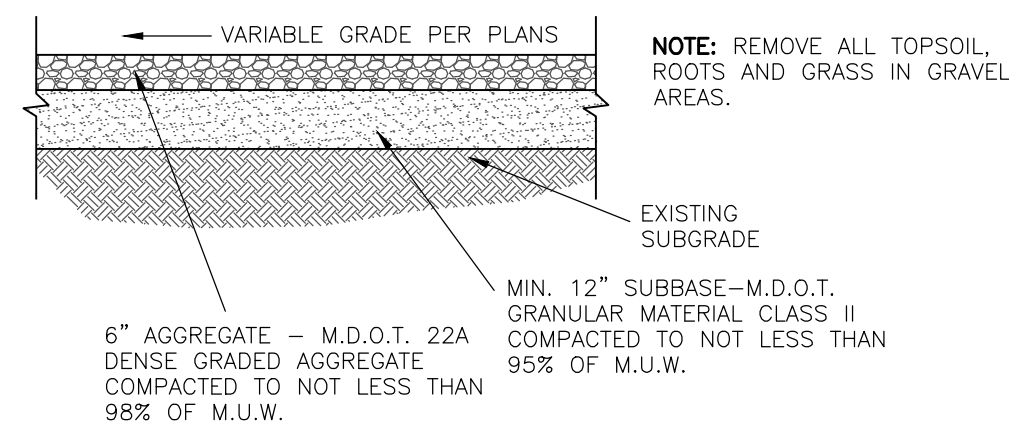
2
C6 **TYPICAL TANGENT END OF CURB DETAIL**
NO SCALE



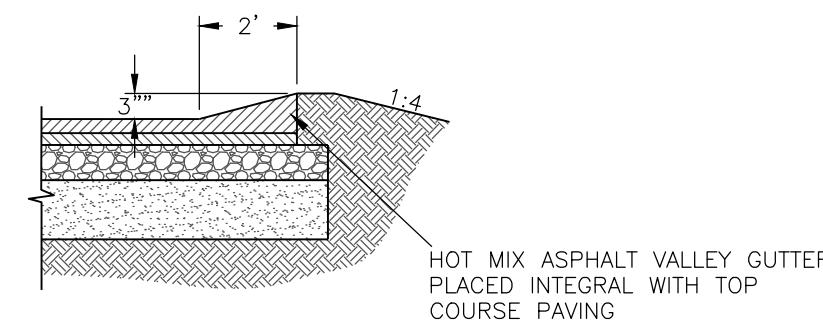
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C6 **TYP. PAVEMENT SECTION**
NO SCALE



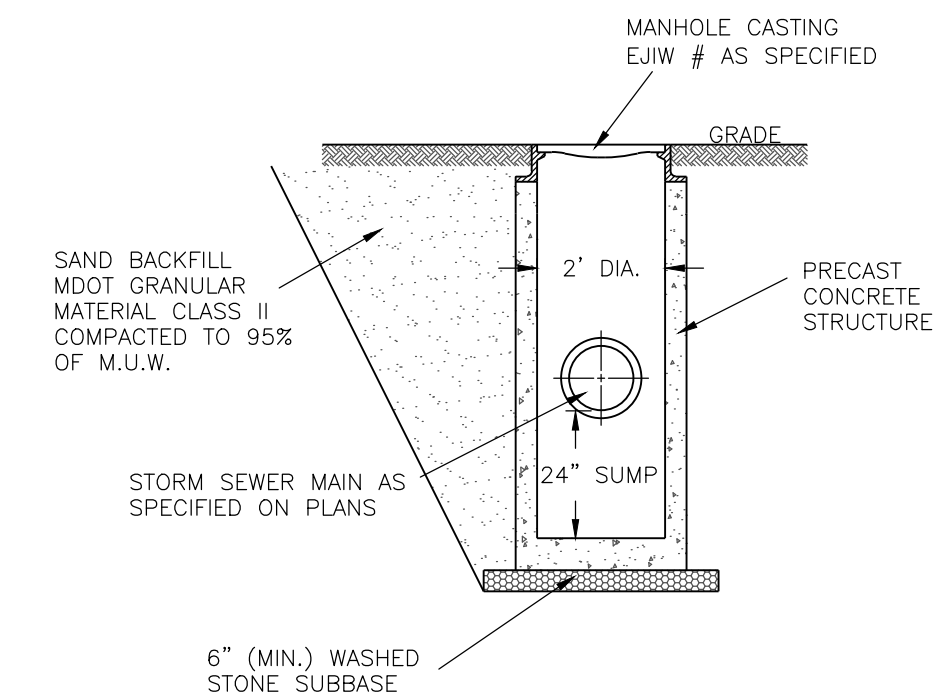
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C6 **THICKENED CONCRETE SLAB**
NO SCALE



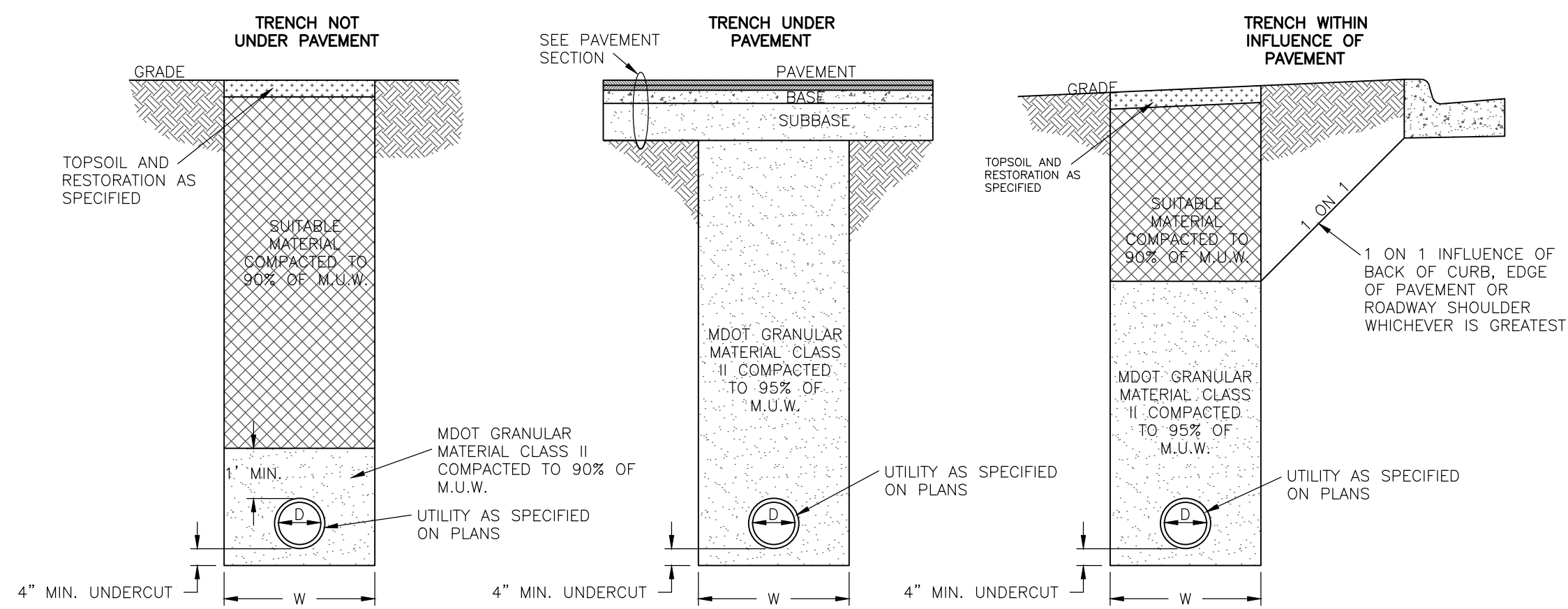
5
C6 **TYP. GRAVEL SURFACE SECTION**
NO SCALE



6
C6 **HMA CURB DETAIL**
NO SCALE



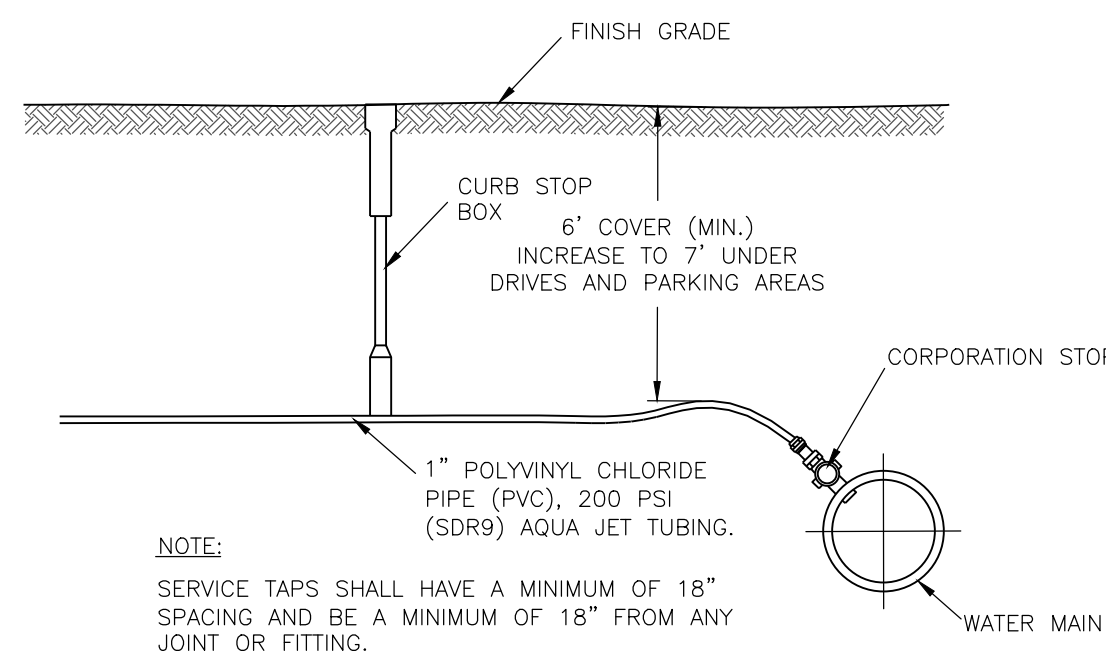
7
C6 **2' DIA. CATCH BASIN**
NO SCALE



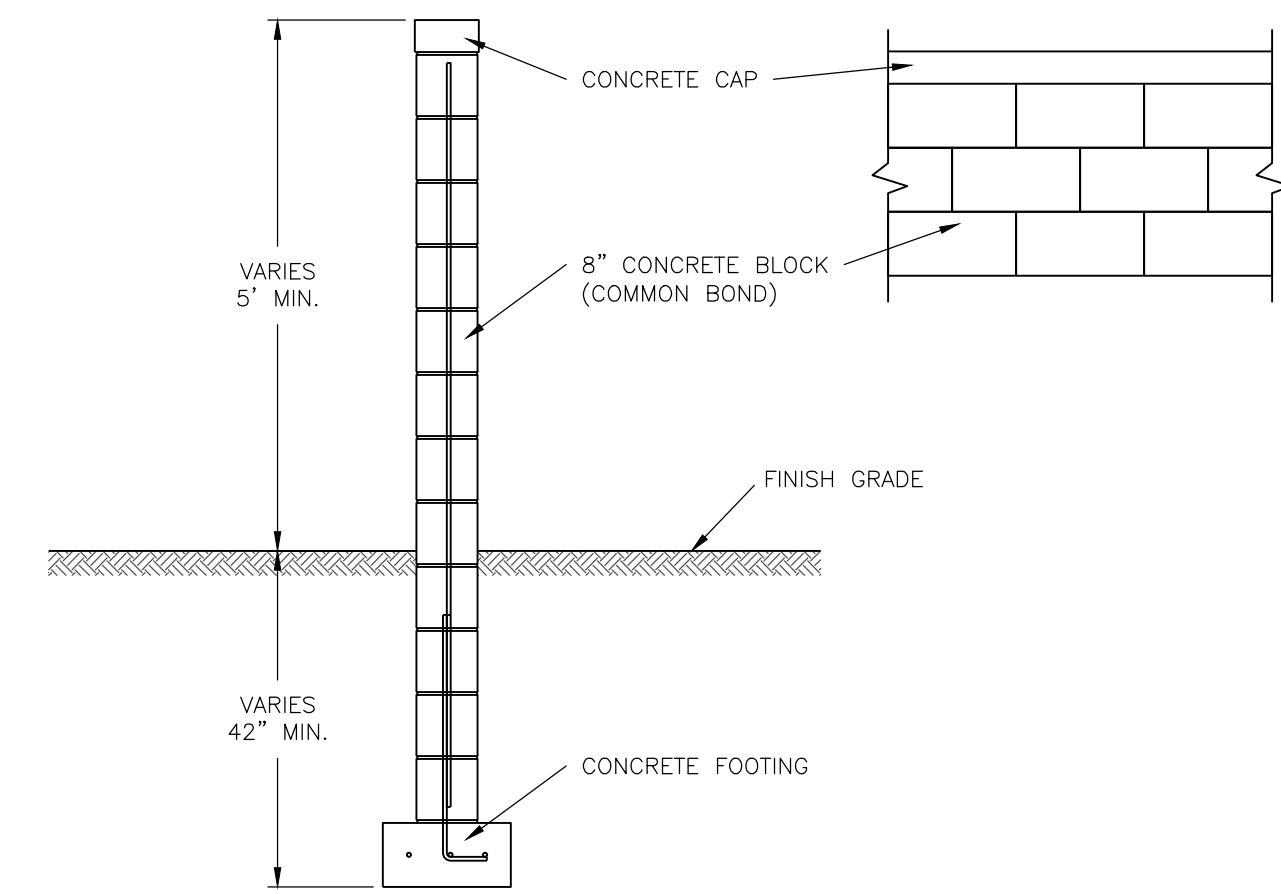
"D" PIPE DIA. INCHES	LESS THAN 18"	21	24	30	36	42	48	54	60	66	72	78	84	90	96	102	108
"W" TRENCH WIDTH FEET	3.0	3.5	4.0	5.0	6.0	7.0	8.0	9.5	10.0	10.5	11.0	11.5	12.0	12.5	13.0	13.5	14.0

8
C6 **UTILITY TRENCHES**
NO SCALE

NOTE: ALL WORK AND SIDE SLOPES SHALL COMPLY WITH MISHA REQUIREMENTS FOR EXCAVATION, TRENCHING, AND SHORING



9
C6 **WATER SERVICE**
NO SCALE



10
C6 **BLOCK WALL**
NO SCALE

PLAN ISSUE: PRELIMINARY

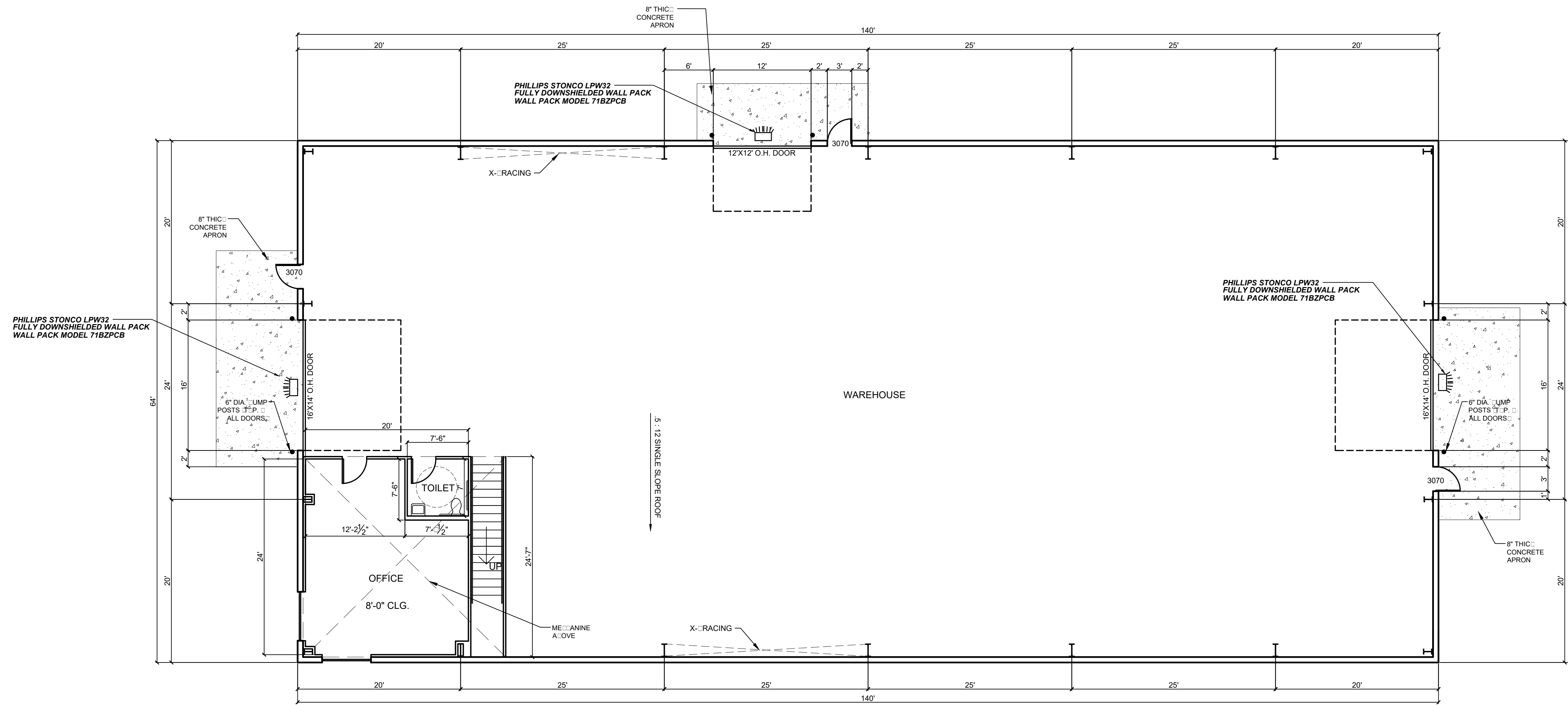
NO.	DATE	DESCRIPTION
1	07/30/16	SWMP REVISIONS
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW

NO.	DATE	DESCRIPTION
1	07/30/16	SWMP REVISIONS
2	10/10/16	REVISED BASED ON TWP PLANNING REVIEW

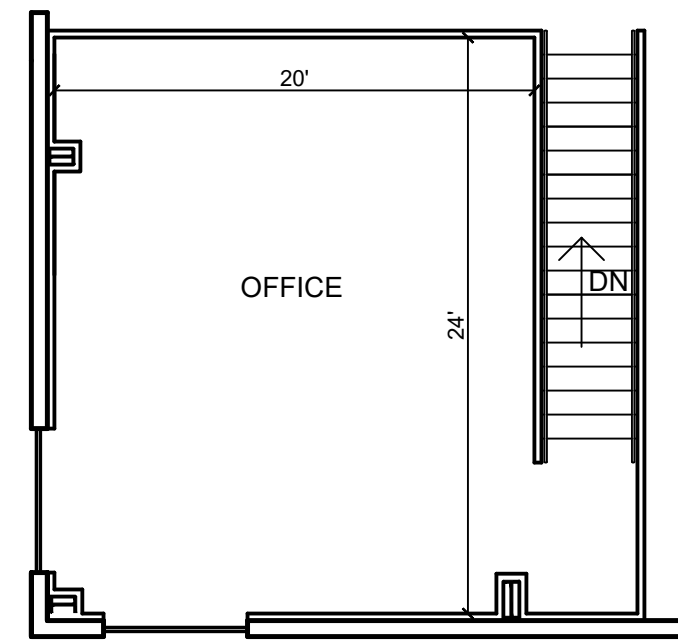
DETAILS
DOUG'S SMALL ENGINE
Section 12, T14N., R4W, Union Township,
Isabella County, Michigan

LORENZ & SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vnnml.net

PROJECT NAME:
SHEET TITLE:
DATE: 07/21/16
SCALE: SHOWN
DRAWN: TPL
SHEET NO. **C6**



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



MECCANINE
SCALE: 1/8" = 1'-0"

JBS JOB NUMBER:
DRAWING NAME: FLOOR PLAN
DRAWN BY: DJC
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 9/20/2016

ENGINEER'S SEAL

**DOUG'S
SMALL ENGINE**
5293 E. PICKARD

COMMERCIAL/INDUSTRIAL
CONSTRUCTION

JBS Contracting Inc.
1680 COVER PARKWAY
MT. PLEASANT, MI 48858
PH: (989) 772-9270
FAX: (989) 772-9272

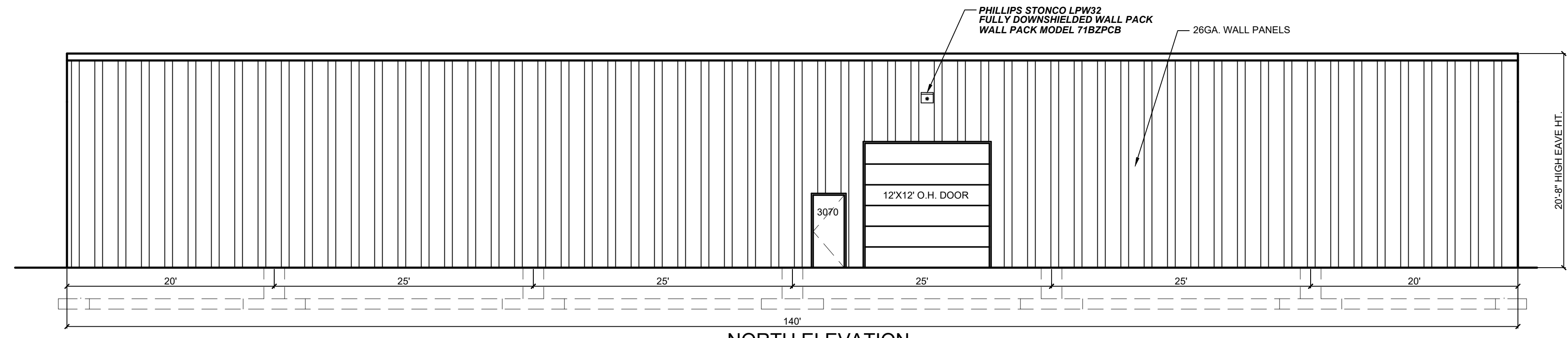
SCALE:
1/8" = 1'

REVISIONS		
TAG:	DATE:	CHANGE:

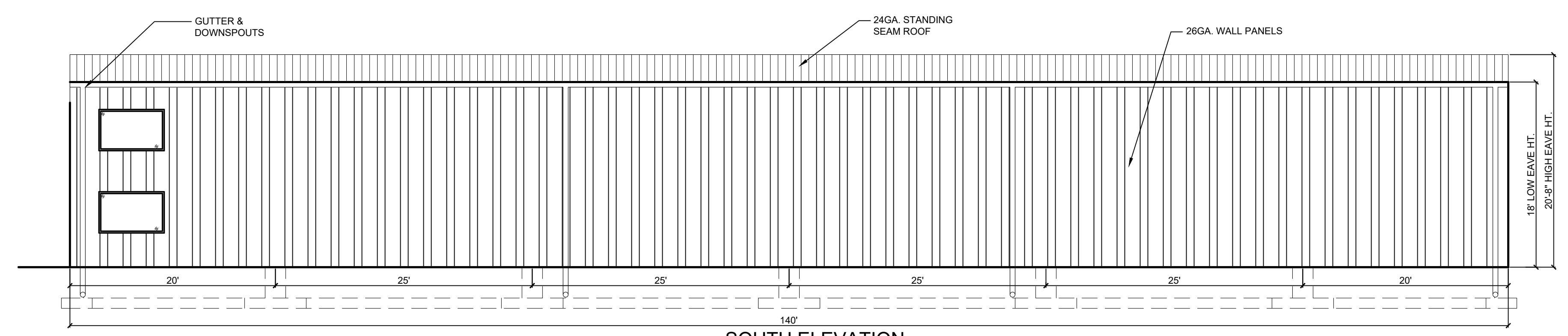


A1

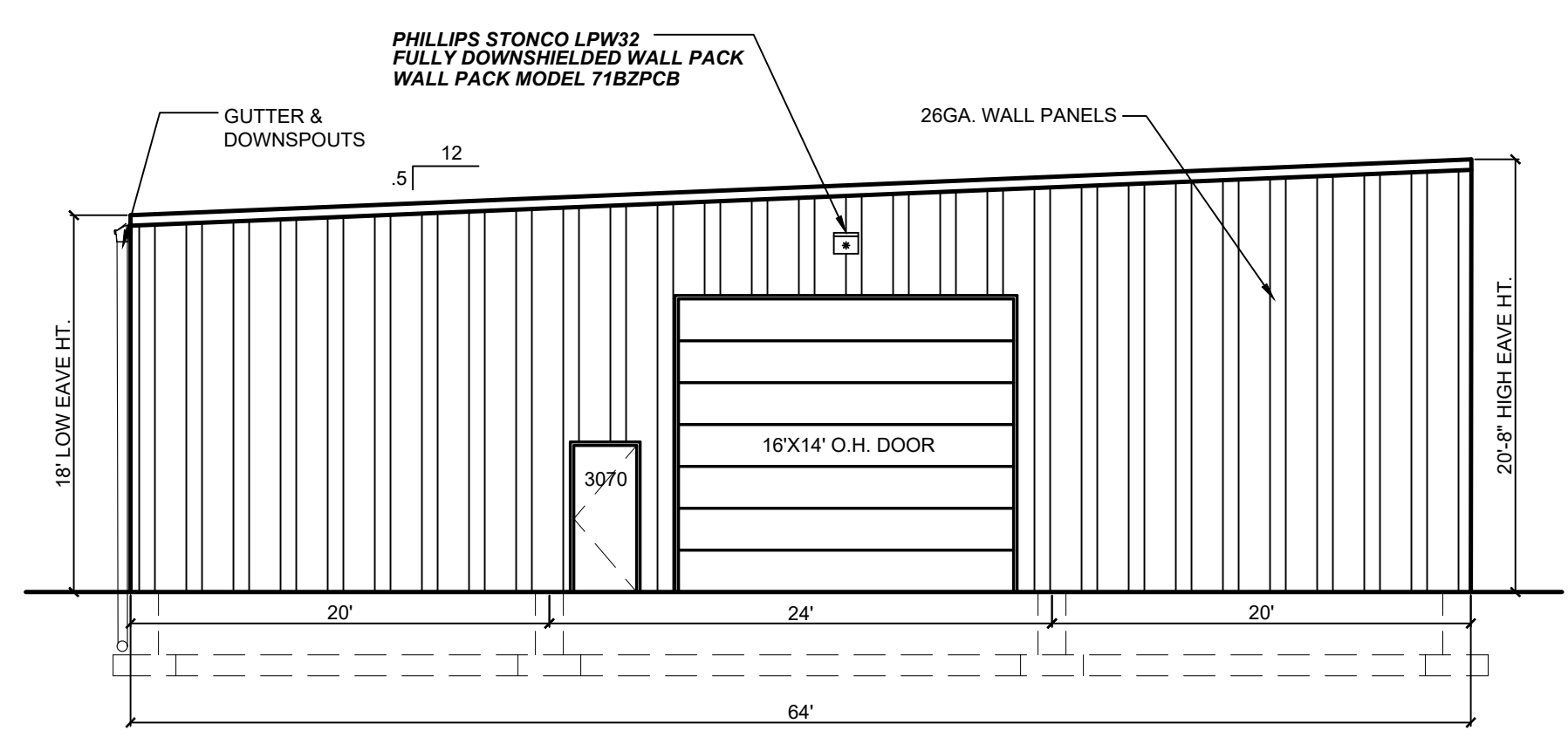
DOUG'S



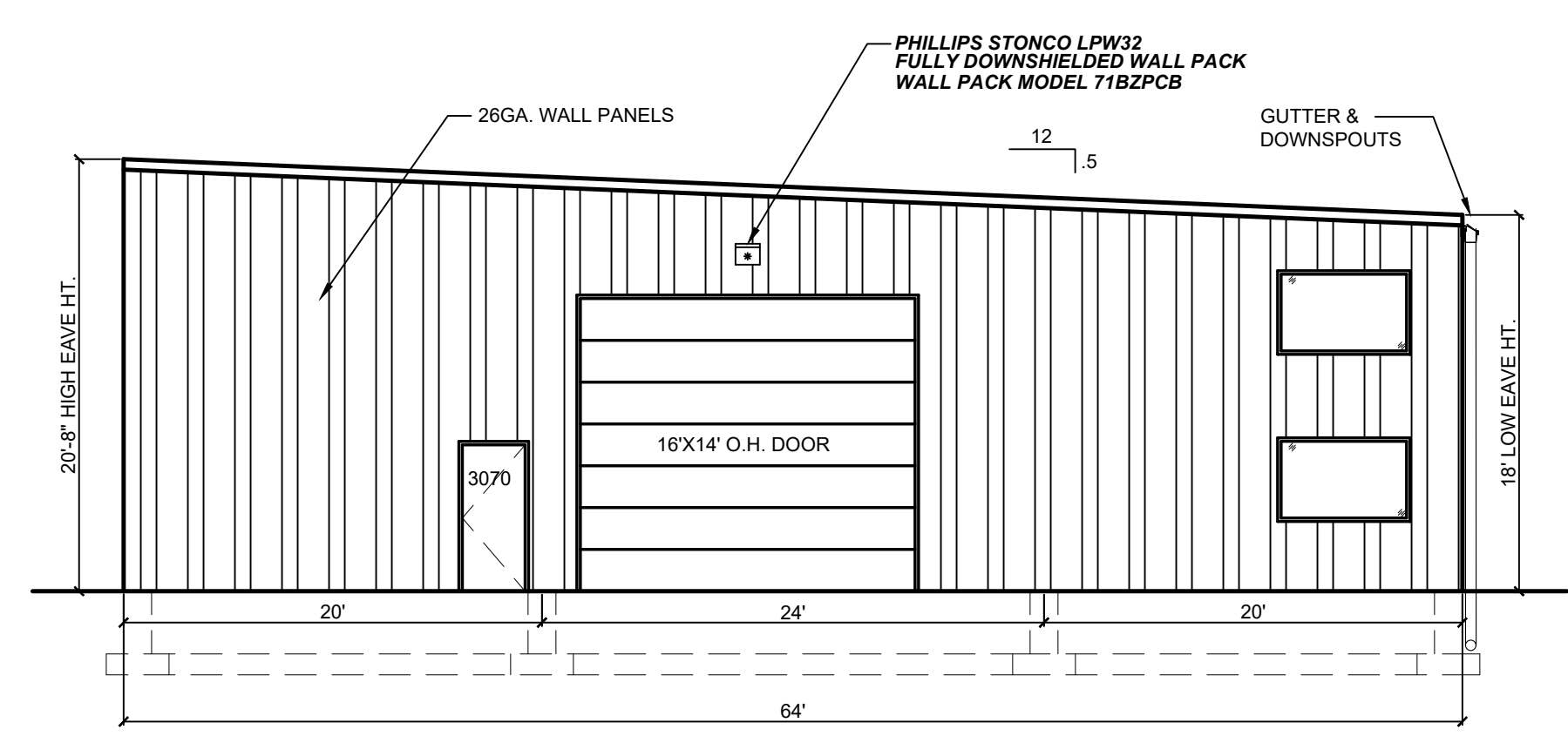
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

JBS JOB NUMBER:
DRAWING NAME: ELEVATION PLAN
DRAWN BY: DJC
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 9/20/2016

ENGINEER'S SEAL

DOUG'S
SMALL ENGINE
5293 E. PICKARD

COMMERCIAL/INDUSTRIAL
CONSTRUCTION

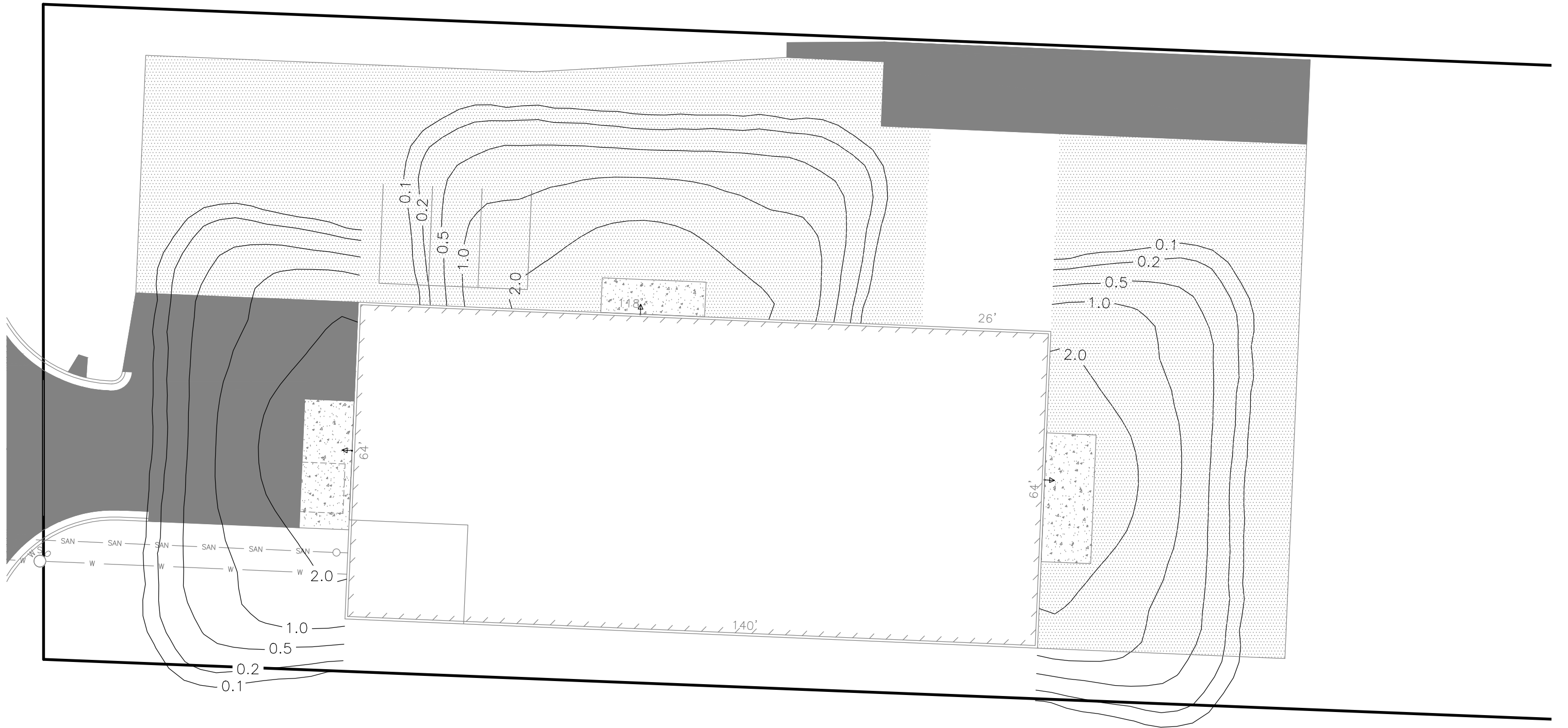
JBS Contracting Inc.
1680 COVER PARKWAY
MT. PLEASANT, MI 48858
PH: (989) 772-9270
FAX: (989) 772-9272

SCALE:
1/8" = 1'

REVISIONS		
TAG:	DATE:	CHANGE:



A2
DOUG'S



Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name Charles R. Lux
- III. Applicant Address 2300 S. Lincoln Rd., Mt. Pleasant, MI, 48858
- IV. Applicant Phone (989) 773-5616 Owner Phone (989) 773-5616
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V& VI)
Other
- VI. Land Owner Name _____
- VII. Land Owner Address _____
- VIII. Project/Business Name _____
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer Utilizing existing detention basin - calculations to be submitted for approval	√	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	√	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies. (Existing drive - plans submitted to ICRC for expansion)
Mt. Pleasant Fire Dept. (In process - plan submitted to fire department)	√	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC) (In process - plan submitted to ICTC)	√	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	√	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS		
	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner Name and Address of Applicant	√	(Shown on Plan)
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	√	(Sprinkled, Type 5)

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The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	√	(Shown)
All lot and/or property lines are to be shown and dimensioned, including building setback lines	√	(Shown)
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - drives, ----- sidewalks, (required) ----- curb openings, ----- acceleration/deceleration lanes, ----- signs, ----- exterior lighting on buildings and parking lots, - - parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), ----- recreation areas, ----- common use areas, ----- areas to be conveyed for public use and purpose. -	√	(Shown)
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	√	(Elevations included - no signs on building)
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application. (Project is a proposed building expansion - utility services installed in phase 1 will be utilized)	√	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	√	(Shown)
The location and right-of-way width of all abutting roads, streets, alleys and easements.	√	(33' right of way for Lincoln Road is shown)
A locational sketch drawn to scale giving the section number and the nearest crossroads.	√	(Location map on C1)

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I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Charles R. Luce

Signature of Applicant

9-20-2016

Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE October 18, 2016 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

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<u>Township use</u>	Review Comments
SPR File # <u>2016-16</u>	_____
Fee Paid initial <u>yes \$225</u>	_____
Receipt # <u>75306</u>	_____
Date received <u>9-22-16</u>	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Charles R. Lux Family Funeral Home

Name of business owner(s): Charles R. Lux

Street and mailing address: 2300 S. Lincoln Road, Mt. Pleasant, MI 48858

Telephone: (989) 773-5616

Fax: (989) 773-4641

Email: clux@charlesrlux.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:

Charles R. Lux 9-20-2016

Information compiled by:

Pete Lorenz, P.E., P.S.
Lorenz Surveying & Engineering, Inc.
3229 W. Beal City Road, Weidman, MI 48893

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N Will the hazardous substances or polluting materials be reused or recycle on-site?
3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
 - b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 <u>Construction Permit Program</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous Waste Section, Treatment, Storage and Disposal</u>
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply, DEQ District Office Community Water Supply Program</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

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UNION TOWNSHIP CONSTRUCTION CONTACTS

Building & Zoning Permits

Sign Permit

Water and Sewer review

Site Plan Review

Charter Township of Union
2010 S. Lincoln Rd
Mt. Pleasant, MI 48858

(989) 772 4600 (switchboard)

(989) 773 1988 (FAX)

Building Official

Randy Robinson - Ext. 227

rrobinson@uniontownshipmi.com

Zoning Administrator

Peter Gallinat - Ext. 241

pgallinat@uniontownshipmi.com

Public Works Coordinator

Kim Smith - Ext. 224

ksmith@uniontownshipmi.com

Road Permits

(submit (2) copies of site plan directly to proper authority prior to Site Plan Review)

State Highways M 20 and US 127 (portions of E. Pickard Rd, E Remus Rd, and Mission Rd)

MDOT

1212 Corporate Drive

Mt. Pleasant, MI 48858

(989) 773-7756 FAX 775 6329

All other roads

Isabella County Road Commission

2261 E. Remus Rd

Mt. Pleasant, MI 48858

(989) 773 7131 (FAX) 772 2371

ICTC

2100 E Transportation Dr

Mt. Pleasant, MI 48858

(989)772-9441

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Storm Water Management Plan

Submit (2) copies of Storm Water Management Plan directly to county engineer prior to Site Plan Review Code - Union Township Ord. 1992-9 Storm Water Management

Isabella County Building

Resource Management
ATTN: Bruce Rohrer PE
200 N. Main St.
Mt. Pleasant, MI 48858

(989) 772 0911 Ext. 231 (FAX) 773 7431

Plumbing, Electrical, Mechanical Permits

Isabella County Building

Inspections

ATTN: (SEE FOLLOWING LIST)

200 N. Main St.

Mt. Pleasant, MI 48858

(989) 772 0911 Ext. (SEE FOLLOWING) (FAX) 773 7431

Electrical Inspector
Tim Wardwell - Ext. 230

Plumbing and Mechanical Inspector
Doug Elias - Ext. 228

Fire Department Review

Sgt. Randy Keeler

804 E. High St.

Mt. Pleasant, MI 48858

((989) 779-5122 (FAX) 773 4020

rkeeler@mt-pleasant.org

Addressing

Isabella County Building Official (989) 772 0911, Ext 228

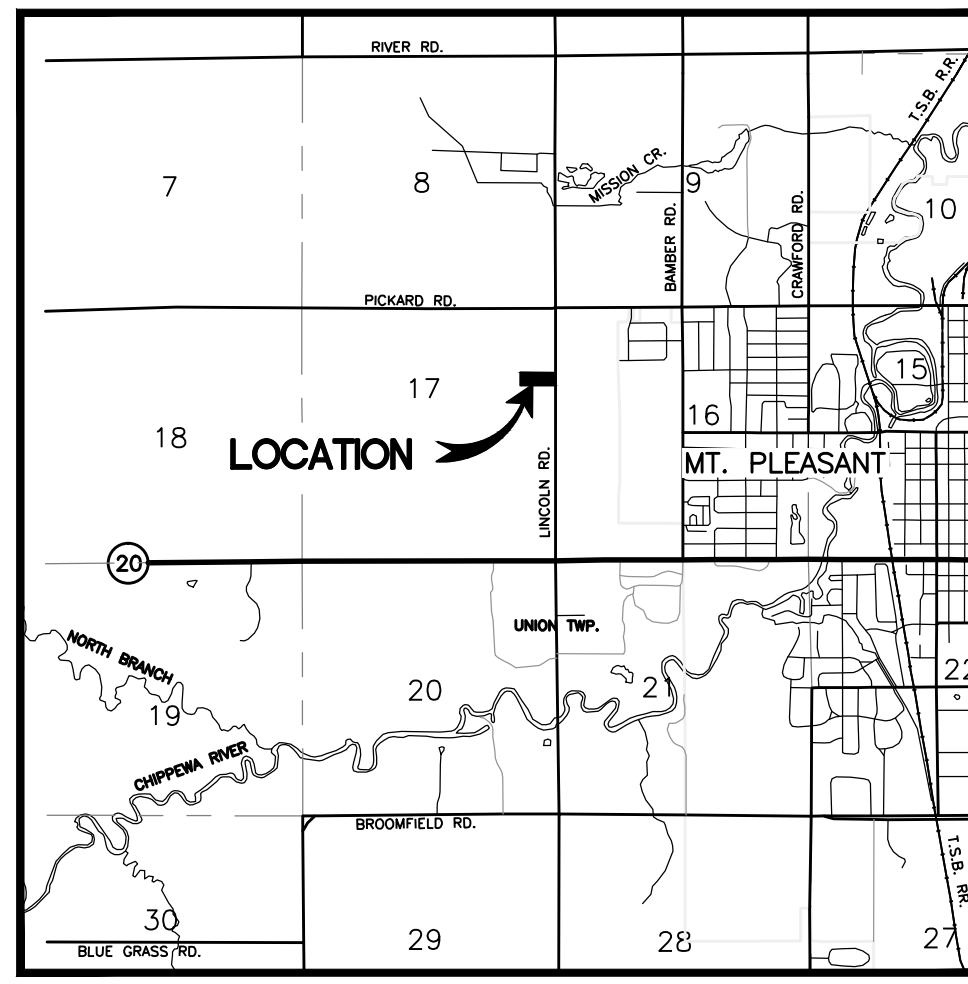
Miscellaneous

Phone - GTE (800) 483 5600, Verizon (800) 483 4000

Gas/Electric - Consumer Energy (800) 572 4788, MichCon (800) 477 4747 Central MI Dist. Health Dept. (989) 773 5921

Miss Dig (800) 482 7171

WASTEWATER MANAGEMENT			
<i>Storm Water Discharge to Wetlands:</i> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Great Lakes:</i> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Inland Lakes and Streams:</i> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<i>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</i> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>



LOCATION MAP
SCALE: 1"=4000'



LEGEND			
⊙	STORM SEWER MANHOLE	⊙	EXISTING DEC. TREE
⊙	SANITARY MANHOLE	⊙	EXISTING CON. TREE
⊙	FIRE HYDRANT	⊙	EXISTING SHRUB OR BUSH
⊙	WATER VALVE	■	EXISTING ASPHALT
⊙	CURB STOP	■	PROPOSED ASPHALT
●	FOUND PROPERTY CORNER	■	EXISTING CONCRETE
○	SET CAPPED IRON 46677	■	PROPOSED CONCRETE
■	FOUND CONC. MONUMENT	■	STONE GROUND COVER
⊙	TELEPHONE PEDESTAL	— W —	WATER LINE
⊙	LIGHT POLE	— SAN —	SANITARY SEWER LINE
⊙	SIGN	— ST —	STORM SEWER LINE
⊙	UTILITY POLE	— OW —	OVERHEAD WIRE
⊙	GU WIRE	— GAS —	GAS LINE
⊙	FLAG POLE	— P —	TELEPHONE LINE
⊙	4X4 WOOD POST		
⊙	IRRIGATION WELL		

DESCRIPTION

A PARCEL OF LAND IN THE NORTH 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T14N, R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 17; THENCE S.00°26'40"E., ON THE EAST LINE OF SAID SECTION 17 322.78 FEET TO THE NORTHEAST CORNER OF SAID NORTH 1/4 AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°26'40"E., CONTINUING ON SAID EAST SECTION LINE 275.00 FEET; THENCE S.8°43'46"W., PARALLEL WITH THE SOUTH LINE OF SAID NORTH 1/4 743.01 FEET; THENCE N.00°28'40"W., PARALLEL WITH SAID EAST SECTION LINE, 275.10 FEET; THENCE N.89°44'15"E., ON THE NORTH 1/8 LINE OF SAID SECTION 17 43.01 FEET TO THE POINT OF BEGINNING; CONTAINING 4.70 ACRES OF LAND AND SUBJECT TO HIGHWAY USE OF THE EAST 33.00 FEET THEREOF AND ALSO SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS AND/OR RESTRICTIONS OF RECORD.

BENCHMARKS

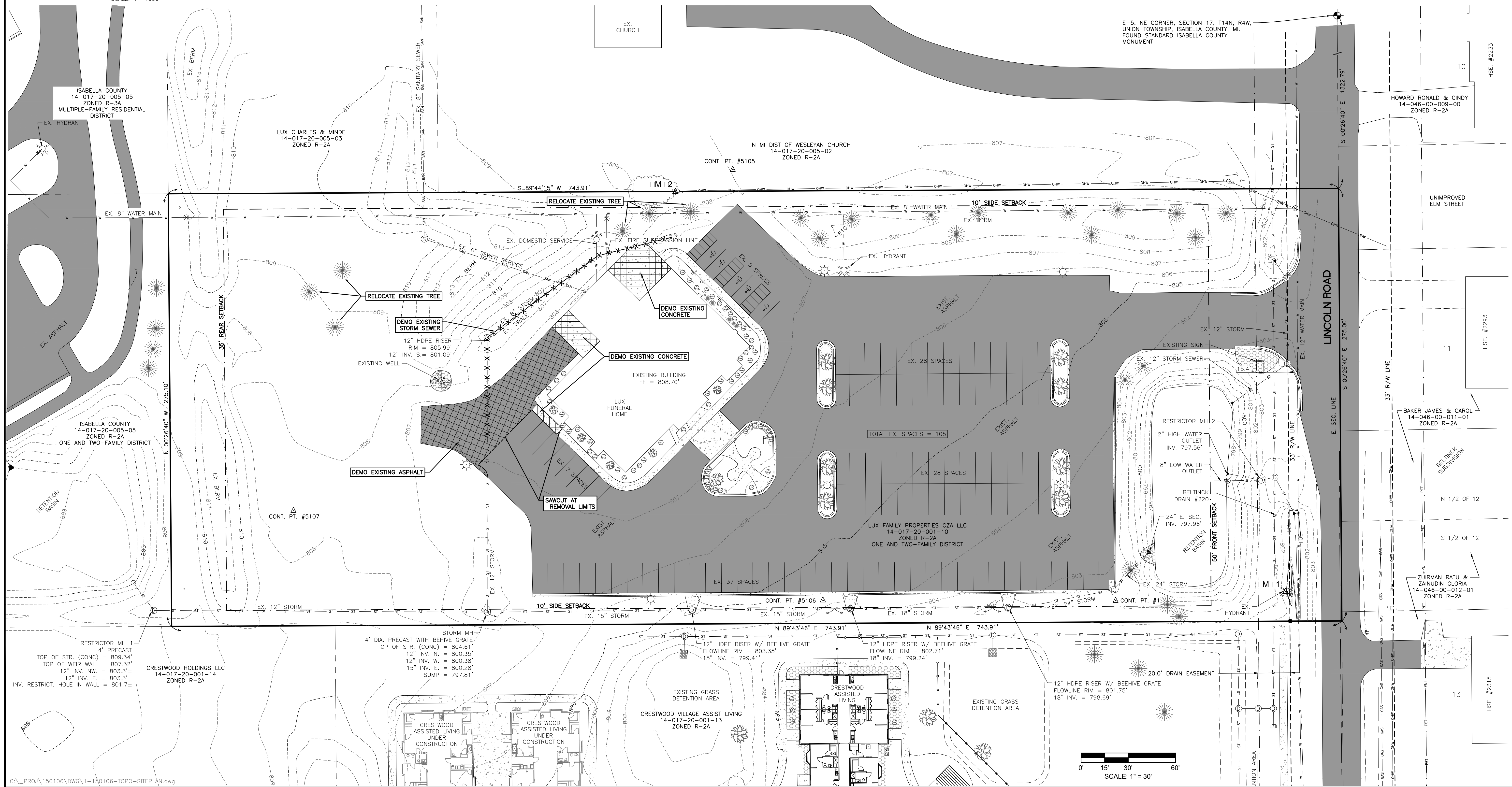
BM #1
HYDRANT TOP WSW FLANGE BOLT
ELEV.: 802.39'
BM #2
FOUND RAILROAD SPIKE IN POWER POLE
ELEV.: 808.67'
DATUM: 2007 ISABELLA COUNTY DRAIN COMMISSION BELTINCK #220 PLANS

SHEET INDEX

- C-1 TOPO. SURVEY & DEMOLITION PLAN
- C-2 SITE PLAN
- C-3 GRADING PLAN
- C-4 STORM SEWER PLAN
- C-5 SOIL EROSION CONTROL PLAN
- C-6 DETAILS

RESTRICTOR MH 2

4' DIA. PRECAST RESTRICT. MH
RIM = 803.76'
TOP WEIR WALL = 801.04'
INV. 6" ORIFICE IN WALL = 7.7.76'
INV. 12" W. = 7.7.51'
INV. 12" E. = 7.2.86'
INV. 8" W. = 7.3.03'
SUMP = 7.0.16'



PLAN ISSUE:		P.C. SUBMITTAL	
NO.	DATE	DESCRIPTION	NO.
1	07/18/16	ISSUE FOR REVIEW	
2	08/16/16	REVISED BASED ON TOWNSHIP REVIEW	

REVISIONS	
NO.	DESCRIPTION

TOPOGRAPHIC SURVEY & DEMOLITION PLAN
PROJECT NAME:
LUX FUNERAL HOME
Section 17, T14N., R4W, Union Township,
Isabella County, Michigan

Lorenz Surveying & Engineering, Inc.
3229 W. Béal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@wimmel.net

PROJECT NO.	150106
SCALE:	1"=30'
DRAWN BY:	TPL
DATE:	04/21/16
SHEET NO.	C1

C:_PROJ\150106\DWG\1-150106-TOPO-SITEPLAN.dwg

NO.	DATE	DESCRIPTION
1	07/18/16	DESIGN OF TOWNSHIP BUILDING AND PARKING
2	10/01/16	REVISED BASED ON TOWNSHIP REVIEW

NO.	DATE	DESCRIPTION
1	07/18/16	DESIGN OF TOWNSHIP BUILDING AND PARKING
2	10/01/16	REVISED BASED ON TOWNSHIP REVIEW

SITE PLAN
LUX FUNERAL HOME
Section 17, T14N., R4W, Union Township,
Isabella County, Michigan

LORENZ SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vimmle.net

PROJECT NO.: 150106
SCALE: 1"=30'
DRAWN BY: TPL
DATE: 04/21/16
SHEET NO.: **G2**

NORTH

DESCRIPTION

A PARCEL OF LAND IN THE NORTH 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T.14 N., R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 17; THENCE S.00°26'40"E., ON THE EAST LINE OF SAID SECTION, 1322.78 FEET TO THE NORTHEAST CORNER OF SAID NORTH 1/4 AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S.00°26'40"E., CONTINUING ON SAID EAST SECTION LINE, 275.00 FEET; THENCE S.8°43'46"W., PARALLEL WITH THE SOUTH LINE OF SAID NORTH 1/4, 743.11 FEET; THENCE N.00°26'40"W., PARALLEL WITH SAID EAST SECTION LINE, 275.10 FEET; THENCE N.89°43'46"E., ON THE NORTH 1/8 LINE OF SAID SECTION, 743.11 FEET TO THE POINT OF BEGINNING, CONTAINING 4.70 ACRES OF LAND AND SUBJECT TO HIGHWAY USE OF THE EAST 33.00 FEET THEREOF AND ALSO SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS AND/OR RESTRICTIONS OF RECORD.

OWNER & APPLICANT

C. R. L. Co.
2300 S. LINCOLN RD.
M. PLEASANT MI 48858
PHONE: 810-773-5616

811 Know what's below.
Call before you dig.
1-800-482-7171 or 811

LAND AREA

PARCEL ACREAGE = 4.70 ACRES

PROPERTY OWNER & APPLICANT

LUX FUNERAL HOME
ATTN: CHARLES LUX
2300 S LINCOLN RD
MT PLEASANT MI 48858
PHONE: 810-773-5616

BENCHMARKS

- BM #1 HYDRANT TOP WSW FLANGE BOLT
ELEV.: 802.39'
- BM #2 FOUND RAILROAD SPIKE IN POWER POLE
ELEV.: 808.67'

DATUM: 2007 ISABELLA COUNTY DRAIN COMMISSION BELTINCK #220 PLANS

SIGNS

SIGNS TO BE IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS. OBTAINING OFFICIAL APPROVAL AND SIGN PERMIT ARE REQUIRED PRIOR TO INSTALLATION OF SIGNS.

PARKING

REQUIRED PARKING - FUNERAL HOME: ONE SPACE FOR EACH FOUR SEATS
REQUIRED = 300 / 4 = 75 SPACES
REQUIRED PARKING - ASSEMBLY HALL: TWO SPACES FOR EACH HUNDRED SQUARE FEET OF FLOOR AREA OPEN TO THE PUBLIC.
REQUIRED = 213,710 / 102 = 42.8 OR 43 SPACES
TOTAL REQUIRED = 75 + 43 = 118 SPACES

EXISTING: 105 SPACES
PROPOSED: 40 SPACES
GRAND TOTAL PROPOSED: 145 SPACES
PROPOSED PARKING SPACES ARE 10' WIDE 20' LONG OR 200 SQ. FT.

GENERAL NOTES

1. SHOWN UNDERGROUND UTILITIES LOCATIONS REFLECT INFORMATION COLLECTED FROM UTILITIES OWNERS AND VISIBLE MARKERS FOUND AT THE TIME OF SURVEY. SHOWN LOCATIONS ARE NOT INTENDED TO BE EXACT AND CONTRACTORS MUST VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.

CONSTRUCTION TYPE

TYPE 5 MASONRY BUILDING CODE
BUILDING WILL BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM.

ZONING

COND R-2A ONE AND TWO-FAMILY LOW DENSITY RESIDENTIAL DISTRICT
MIN. LOT WIDTH
SINGLE FAMILY = 100' 80' WITH PUBLIC SEWER
TWO FAMILY = 120' 100' WITH PUBLIC SEWER
MIN. LOT AREA
SINGLE FAMILY = 14,000 SFT. 12,000 SFT. WITH PUBLIC SEWER
TWO FAMILY = 17,000 SFT. 15,000 SFT. WITH PUBLIC SEWER
MAX. BUILDING HEIGHT = 35'
MIN. FLOOR AREA PER DWELLING UNIT
SINGLE FAMILY = 600 SFT.
TWO FAMILY = 750 SFT.
MIN. DWELLING WIDTH = 18'
MIN. FRONT YARD = 35' INCREASED TO 50' FOR URN OVERLAP ONE
LINCOLN ROAD ROAD
FROM PLEASANT ROAD TO ROOMFIELD ROAD
IS IN THE URN OVERLAP ONE
MIN. SIDE YARD = 10'
MIN. REAR YARD = 35'

SITE LIGHTING

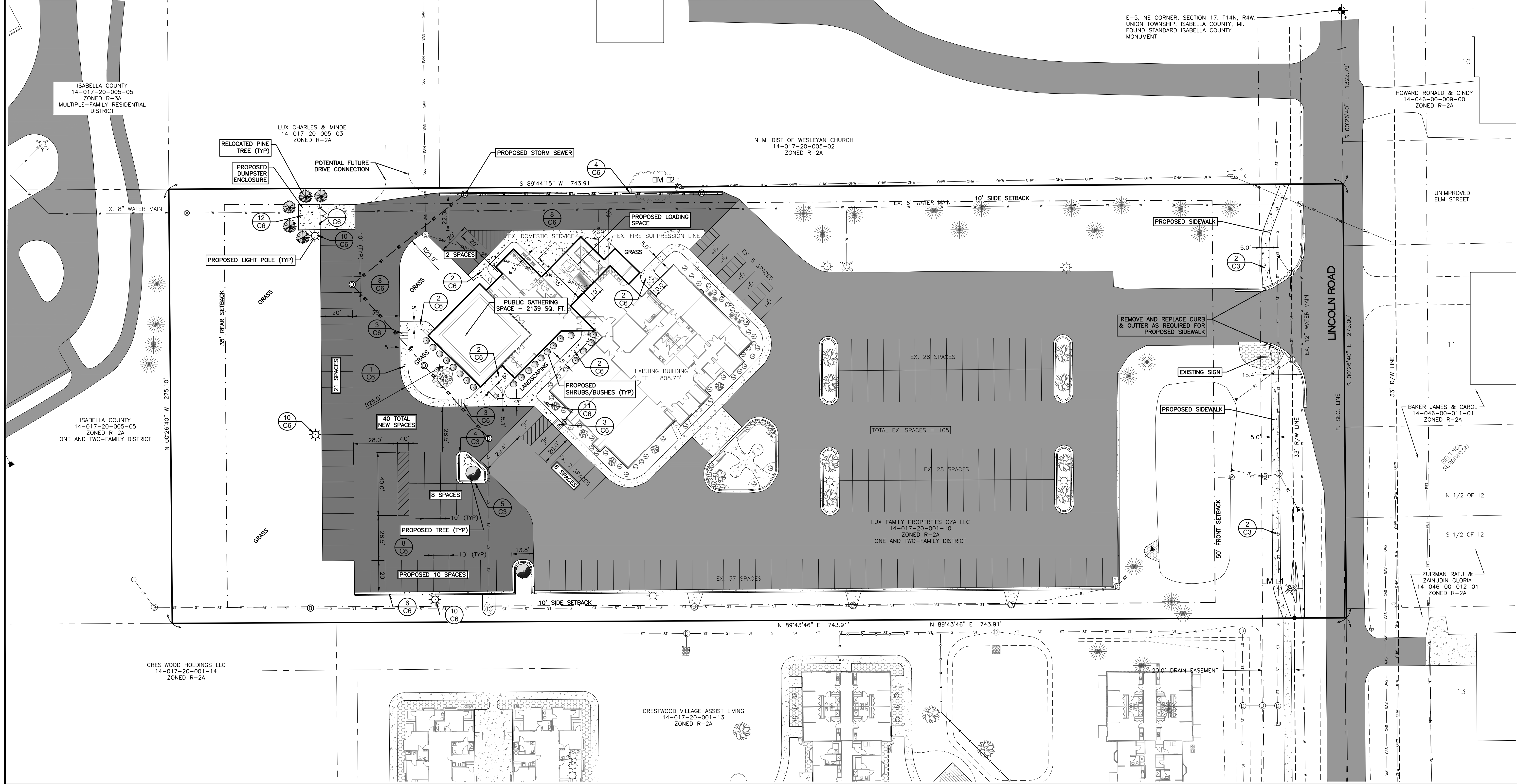
ALL LIGHTING FACILITIES SHALL BE DOWN-SHIELDED IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS: 20' POLE HT. MAX.

LANDSCAPING

REQUIRED LANDSCAPING WILL BE PROVIDED IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS.

LEGEND

- STORM SEWER MANHOLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- FOUND PROPERTY CORNER
- SET CAPPED IRON 46677
- FOUND CONC. MONUMENT
- TELEPHONE PEDESTAL
- LIGHT POLE
- SIGN
- UTILITY POLE
- GROUND WIRE
- FLAG POLE
- 4X4 WOOD POST
- IRRIGATION WELL
- EXISTING DEC. TREE
- EXISTING CON. TREE
- EXISTING SHRUB OR BUSH
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- STONE GROUND COVER
- WATER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- OVERHEAD WIRE
- GAS LINE
- TELEPHONE LINE



ISABELLA COUNTY
14-017-20-005-05
ZONED R-3A
MULTIPLE-FAMILY RESIDENTIAL DISTRICT

LUX CHARLES & MINDE
14-017-20-005-03
ZONED R-2A

N MI DIST OF WESLEYAN CHURCH
14-017-20-005-02
ZONED R-2A

ISABELLA COUNTY
14-017-20-005-05
ZONED R-2A
ONE AND TWO-FAMILY DISTRICT

LUX FAMILY PROPERTIES CZA LLC
14-017-20-001-10
ZONED R-2A
ONE AND TWO-FAMILY DISTRICT

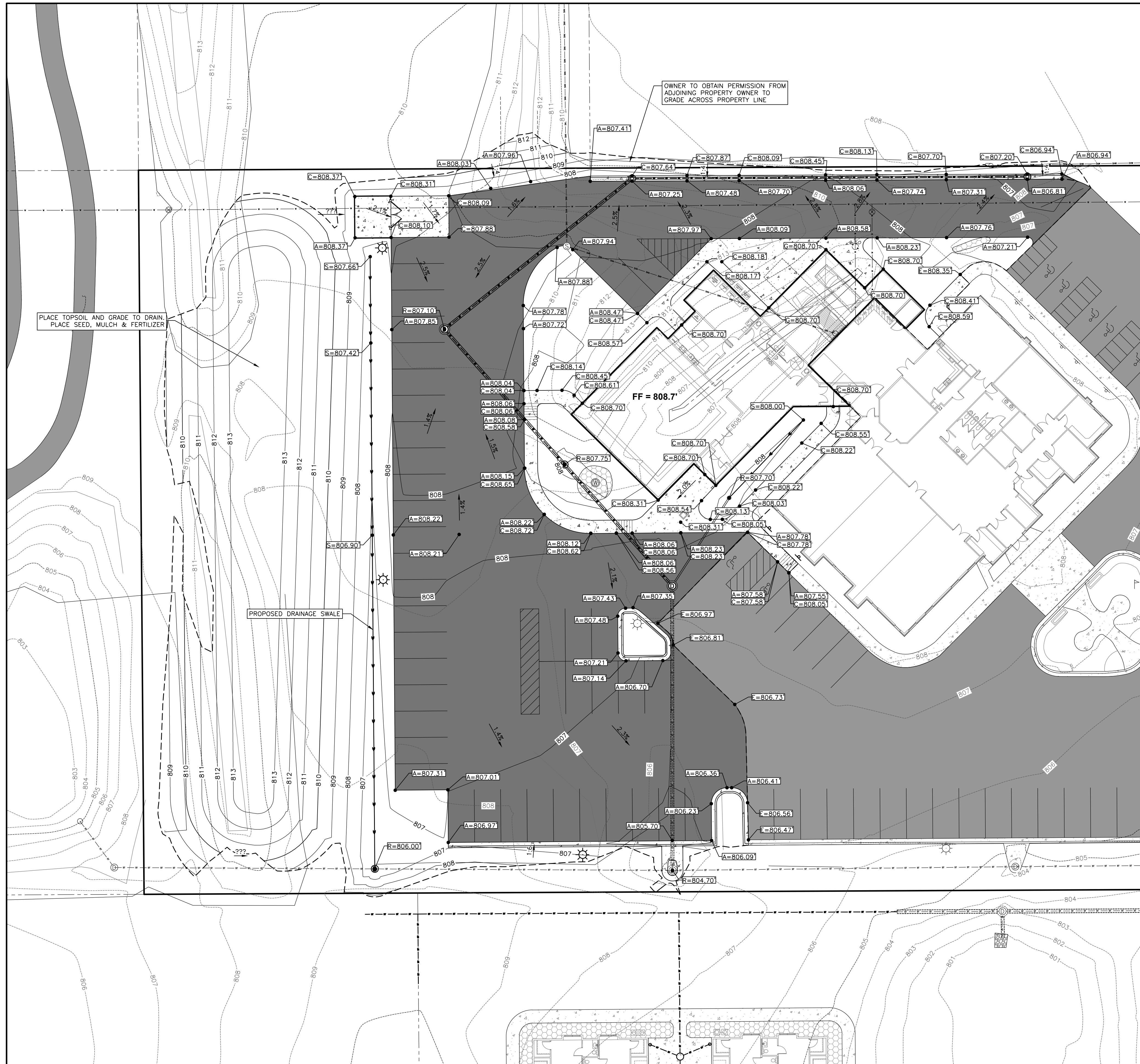
CRESTWOOD HOLDINGS LLC
14-017-20-001-14
ZONED R-2A

CRESTWOOD VILLAGE ASSIST LIVING
14-017-20-001-13
ZONED R-2A

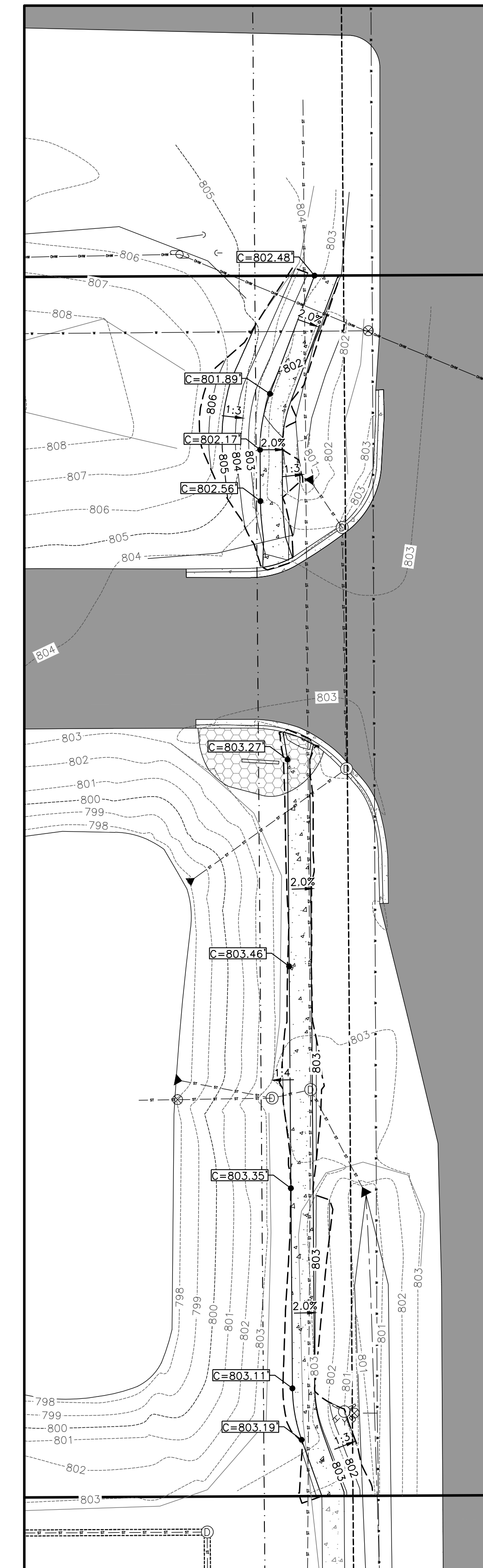
BAKER JAMES & CAROL
14-046-00-011-01
ZONED R-2A

ZURMAN RATU & ZAINUDIN GLORIA
14-046-00-012-01
ZONED R-2A

GRADING PLAN

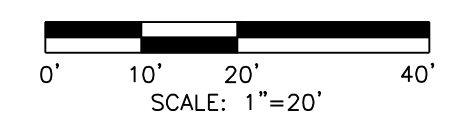


LINCOLN ROAD SIDEWALK GRADING PLAN



SPOT ELEVATION LEGEND

- A = PROPOSED TOP OF ASPHALT ELEVATION
- C = PROPOSED TOP OF CONCRETE ELEVATION
- E = EXISTING ELEVATION FIELD VERIFIED
- G = PROPOSED GROUND ELEVATION
- R = PROPOSED RIM FLOWLINE ELEVATION
- S = PROPOSED SWALE ELEVATION



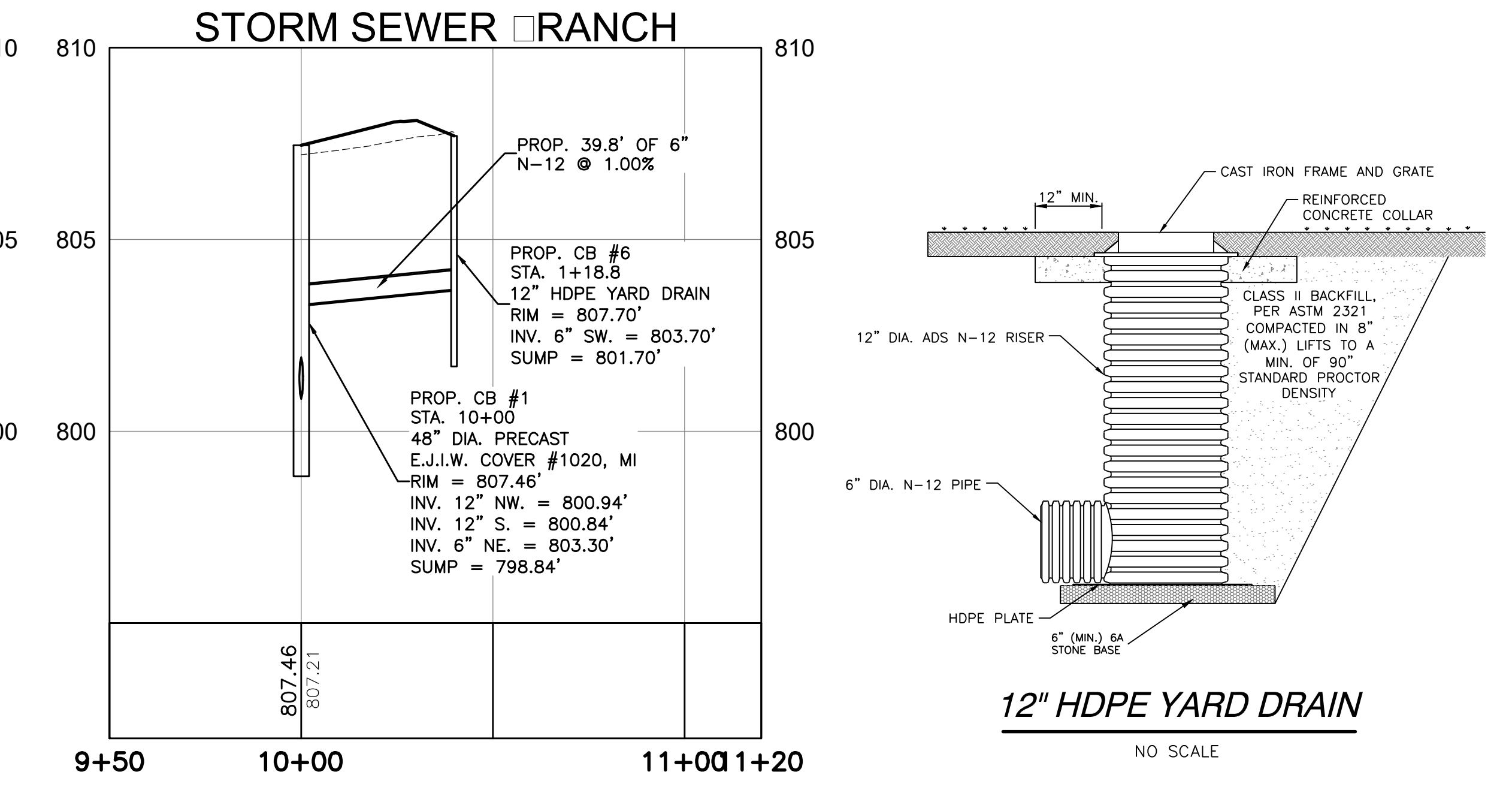
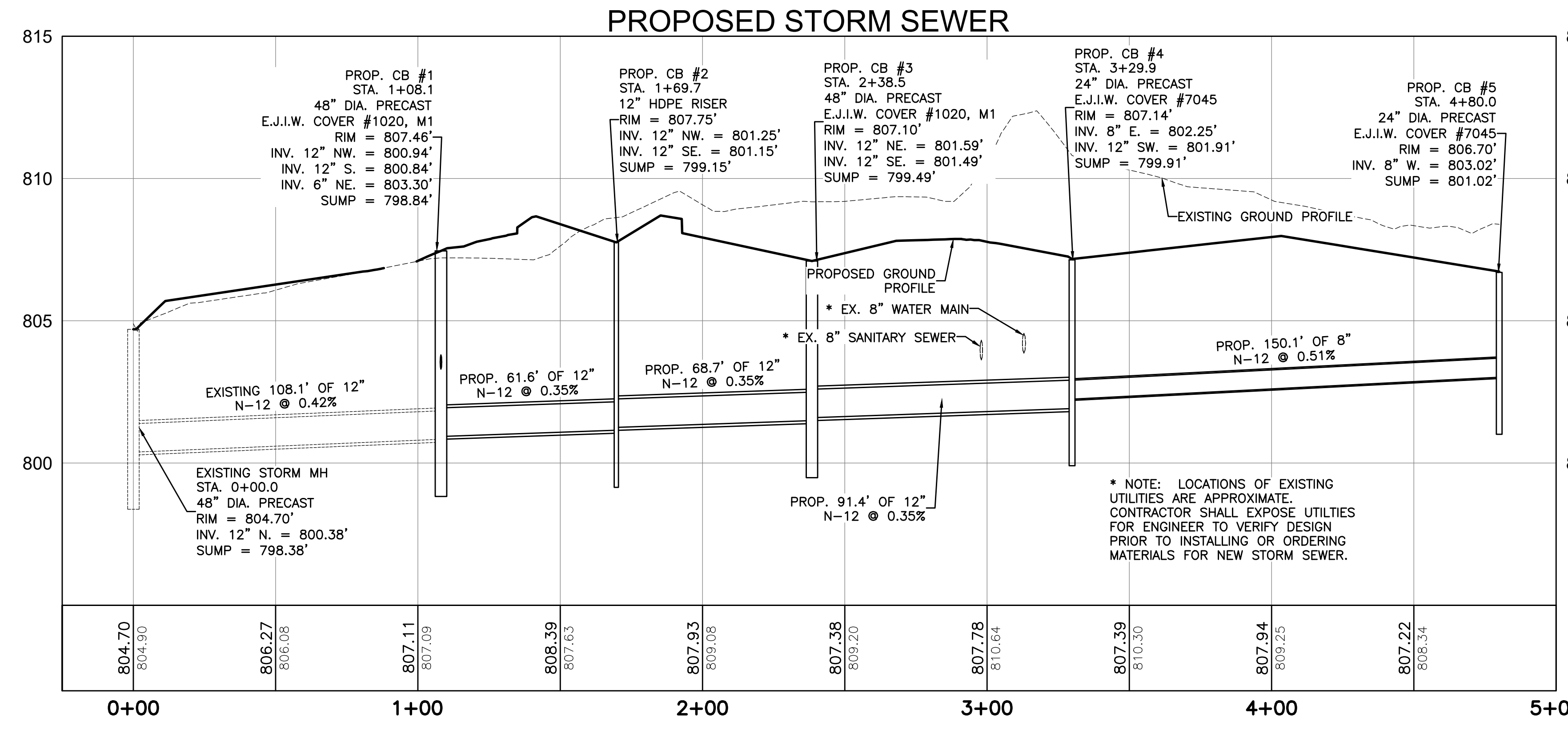
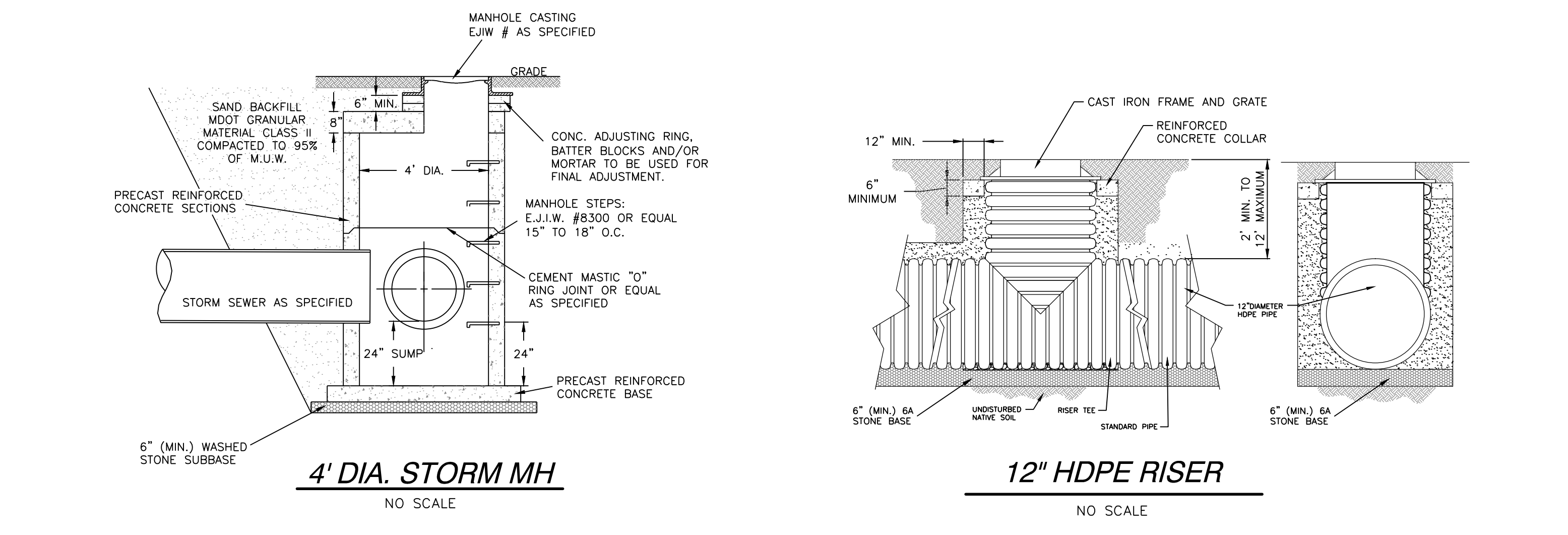
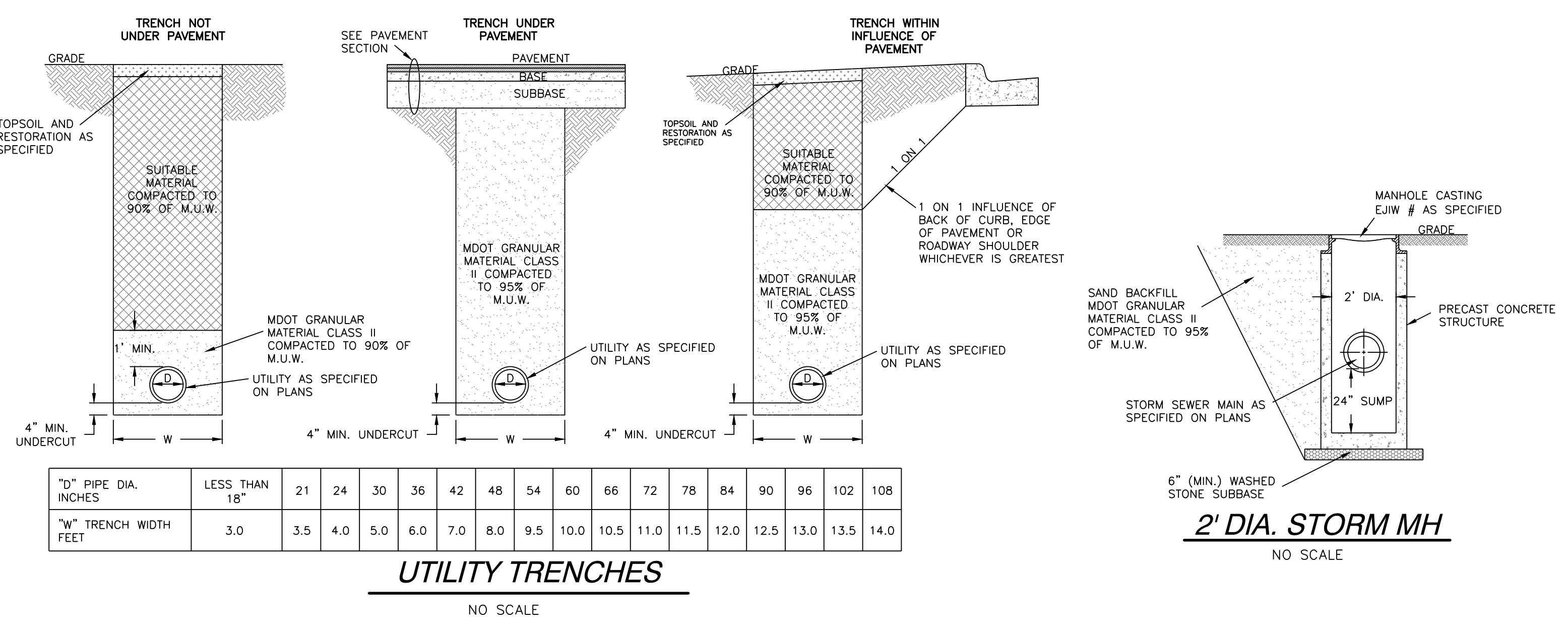
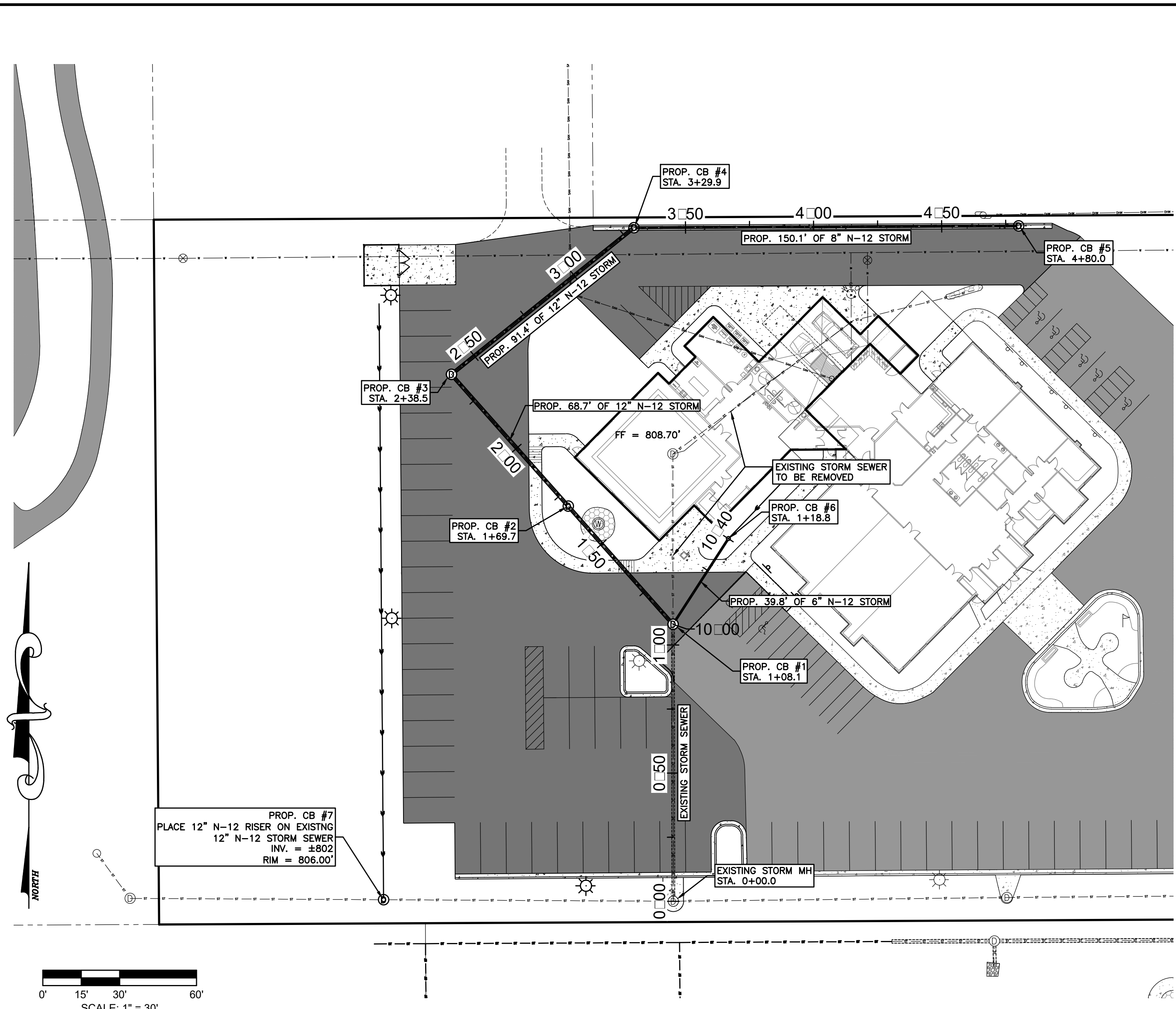
PLAN ISSUE:
P.C. SUTTLER

REVISIONS	
NO.	DESCRIPTION
1	DESIGN OF TOWNSHIP BUILDING AND PARKING LOT
2	REVISED BASED ON TOWNSHIP REVIEW

GRADING PLAN
LUX FUNERAL HOME
 Section 17, T14N., R4W, Union Township,
 Isabella County, Michigan

LORENZ & SURVEYING & ENGINEERING, INC.
 3229 W. Beal City Road
 Weidman, Michigan 48893
 Phone: (989) 644-5953
 Fax: (989) 644-8659
 plorenz@vmmel.net

PROJECT NO.: 150106
 SCALE: 1"=20'
 DRAWN: TPL
 DATE: 04/21/16
 SHEET NO. **C-3**



PLAN ISSUE: P.C. SUBMITTAL

NO.	DATE	DESCRIPTION
1	07/18/16	DESIGN OF TOWNSHIP BUILDING AND PARKING LOT
2	10/01/16	REVISED BASED ON TOWNSHIP REVIEW

STORM SEWER PLAN

LUX FUNERAL HOME
Section 17, T14N., R4W, Union Township,
Isabella County, Michigan

Lorenz & Surveying & Engineering, Inc.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vmmel.net

PROJECT NAME: STORM SEWER PLAN

SHEET NO.: 150106

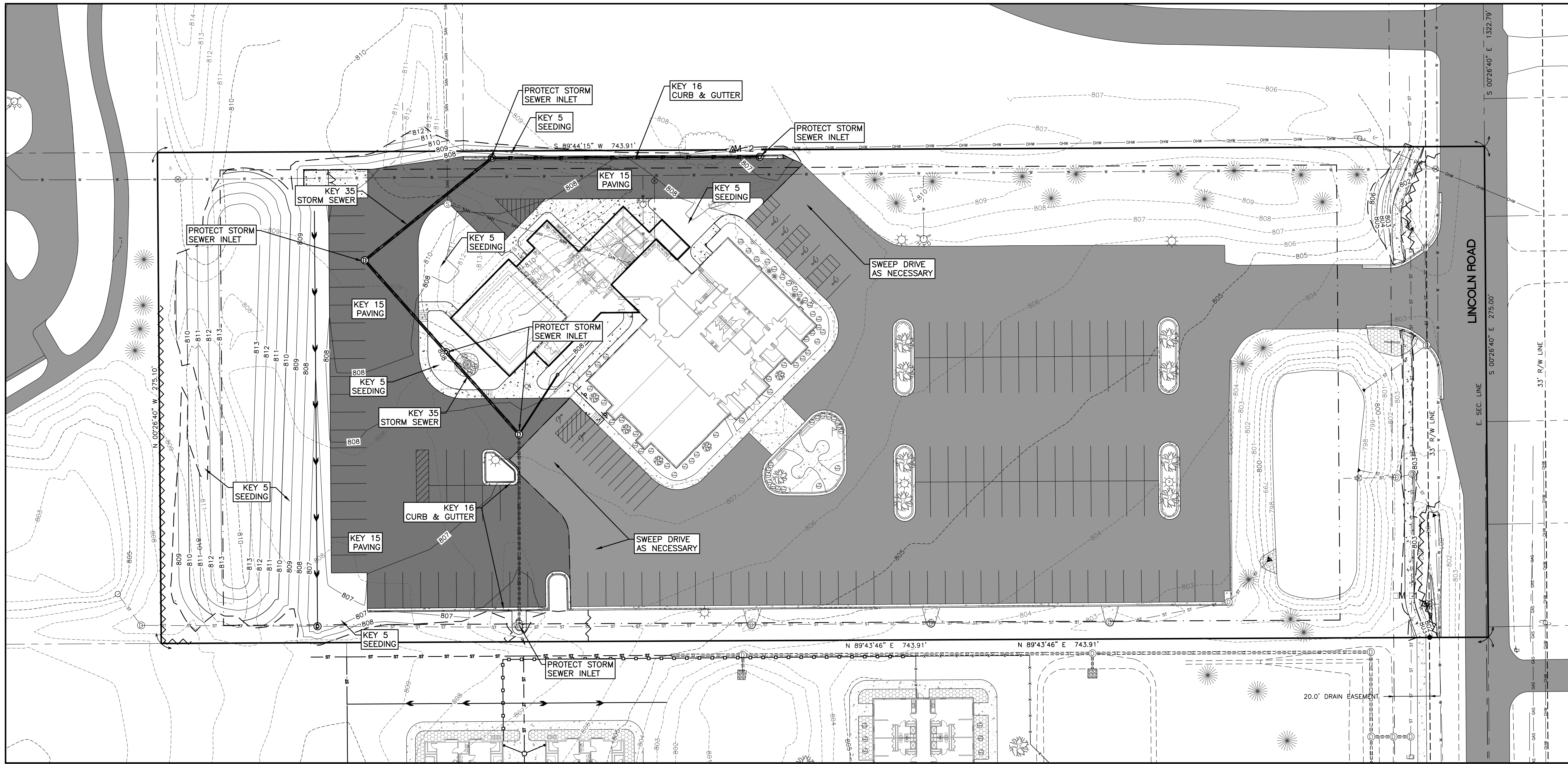
SCALE: 1"=30'

DRAWN BY: TPL

DATE: 04/21/16

SHEET NO. **C-4**

SOIL EROSION CONTROL PLAN
SCALE: 1"=30'



PLAN ISSUE:	
NO.	DESCRIPTION
1	DESIGN FOR TOWNSHIP REVIEW
2	REVISED BASED ON TOWNSHIP REVIEW

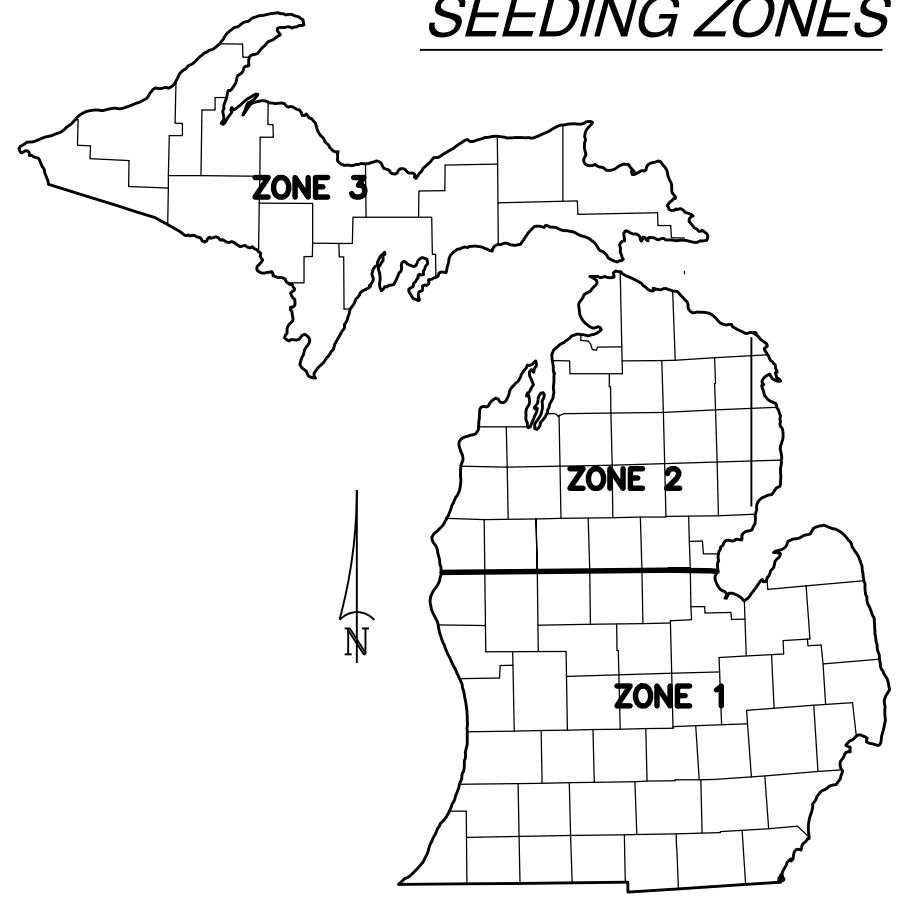
REVISIONS:	
NO.	DATE

SOIL EROSION CONTROL PLAN
LUX FUNERAL HOME
Section 17, T14N., R4W, Union Township,
Isabella County, Michigan

Lorenz & Surveying & Engineering, Inc.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@wimmel.net

PROJECT NO.: 150106
SCALE: 1"=30'
DRAWN BY: TPL
DATE: 04/21/16
SHEET NO. **C-5**

SEEDING ZONES



TEMPORARY SEEDING GUIDE

TYPE OF SEED	ZONE 1													
	APR	MAY	JUN	JUL	AUG	SEPT	OCT	APR	MAY	JUN	JUL	AUG	SEPT	OCT
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS														
SUDANGRASS														
RYE OR PERENNIAL RYE														
WHEAT														

MICHIGAN UNIFIED KEYING SYSTEM

KEY	DETAIL	CHARACTERISTICS
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS. CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF. CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION. USE CATCH BASINS TO COLLECT SEDIMENT.
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

PERMANENT SEEDING GUIDE

	ZONE 1													
	APR	MAY	JUN	JUL	AUG	SEPT	OCT	APR	MAY	JUN	JUL	AUG	SEPT	OCT
IRRIGATED AND/OR MULCH														
WITHOUT IRRIGATION OR MULCH														

DISTURBANCE AREA

TOTAL DISTURBANCE AREA = 66,274 SQ. FT.
TOTAL DISTURBANCE AREA = 1.52 ACRES

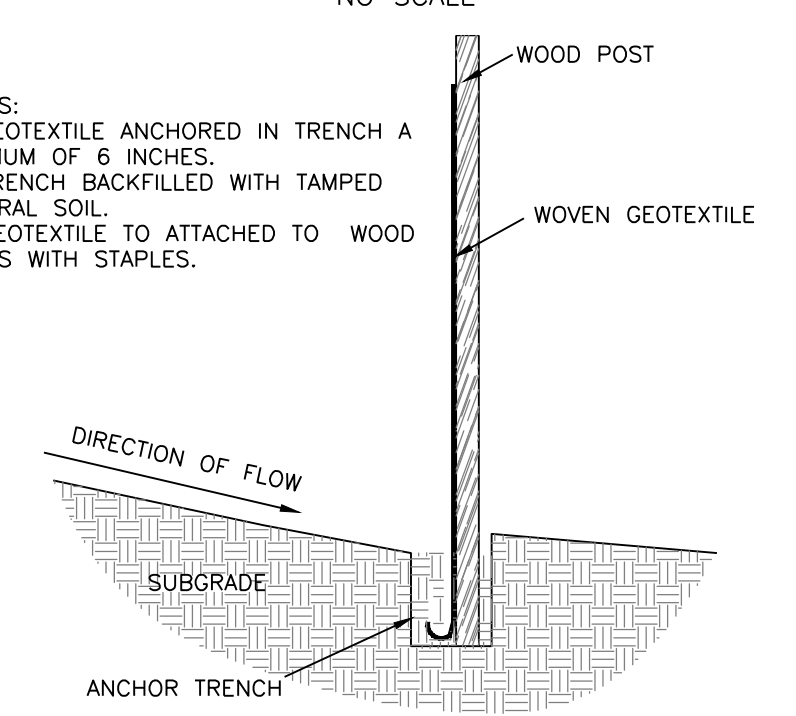
CONSTRUCTION PHASES

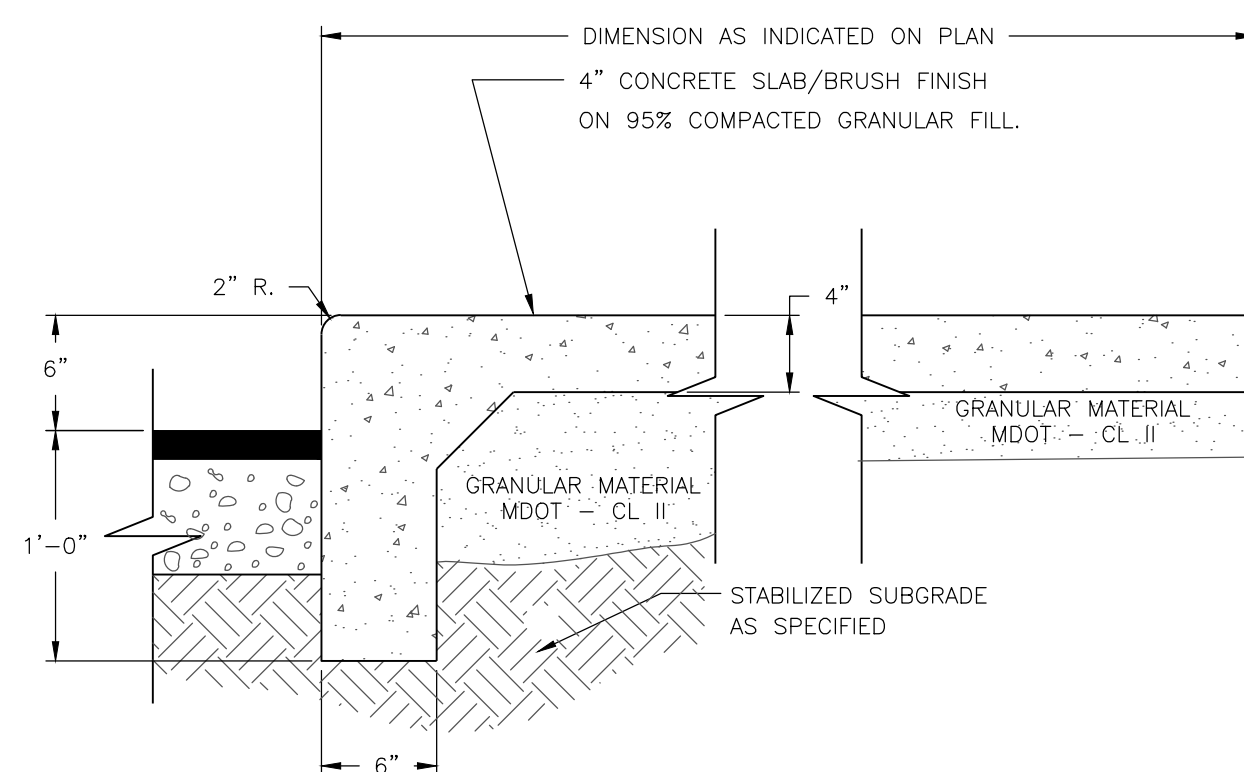
- PHASE 1: SITE DEMOLITION, UNDERGROUND UTILITY INSTALLATION AND BUILDING FOUNDATION CONSTRUCTION.
 - PLACE GEOTEXTILE SILT FENCE (PRIOR TO COMMENCING ANY WORK)
 - PROTECT CATCH BASIN INLETS (PLACE GEOTEXTILE FABRIC OR SILT SACKS)
- PHASE 2: BUILDING CONSTRUCTION
 - MAINTAIN CONTROL MEASURES
- PHASE 3: SITE GRADING, PARKING LOT, CONCRETE SIDEWALKS & RESTORATION
 - MAINTAIN TEMPORARY CONTROL MEASURES
 - PLACE TOPSOIL SURFACE IN DISTURBED AREAS AND PERMANENT SEEDING.

GENERAL NOTES

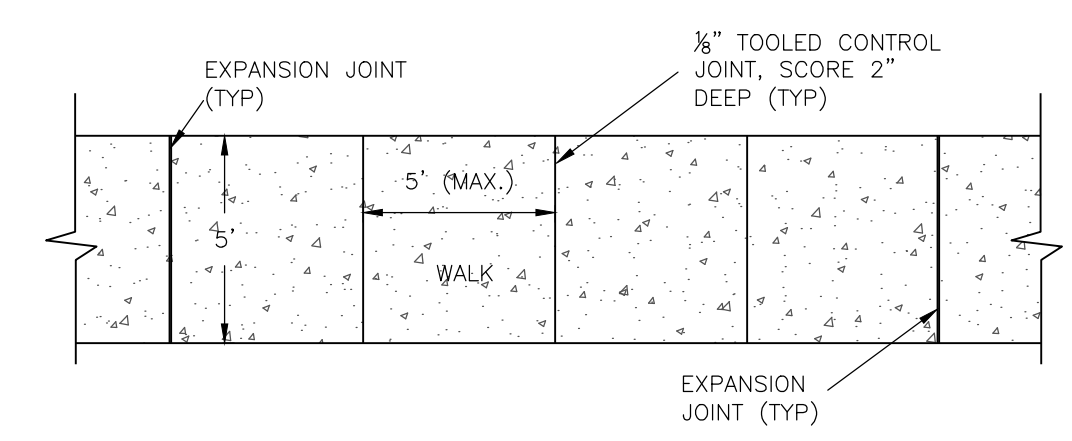
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TEMPORARY AND PERMANENT CONTROL MEASURES UNTIL VEGETATION HAS BEEN ESTABLISHED ON ALL DISTURBED AREAS. MAINTENANCE SHALL INCLUDE: PERIODIC INSPECTIONS, REMOVING ACCUMULATED SEDIMENT AND REPAIRING OR REPLACING DAMAGED CONTROL MEASURES. INSPECTIONS SHALL BE PERFORMED DAILY DURING THE CONSTRUCTION PROCESS. FOLLOWING CONSTRUCTION INSPECTIONS SHALL BE PERFORMED AT LEAST ON A WEEKLY BASIS AND AFTER EVERY SIGNIFICANT RAIN EVENT UNTIL VEGETATION HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY CONTROL MEASURES AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED AND VEGETATION HAS BEEN ESTABLISHED. ALL CATCH BASINS WITHIN THE CONSTRUCTION INFLUENCE AREA SHALL BE PROTECTED UNTIL PERMANENT MEASURES HAVE TAKEN EFFECT. INLETS SHALL BE PROTECTED WITH GEOTEXTILE FABRIC OR SILT SACKS. INSTALL SILT FENCES PRIOR TO ANY SITE WORK.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF PERMANENT CONTROL MEASURES AFTER THE ESTABLISHMENT OF VEGETATION ON DISTURBED AREAS. THE OWNER SHALL MAKE PERIODIC INSPECTIONS, AND REPLACE OR REPAIR DAMAGED PERMANENT CONTROL MEASURES AS REQUIRED.
- PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL EARTH CHANGE IS COMPLETED.

SILT FENCE INSTALLATION

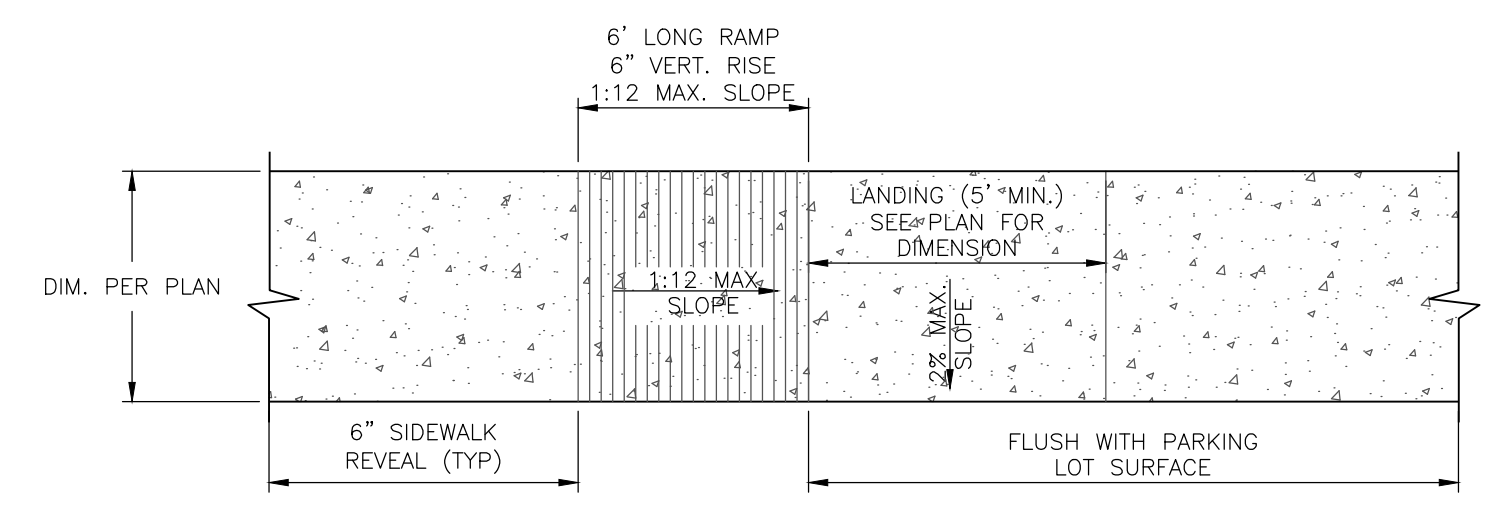




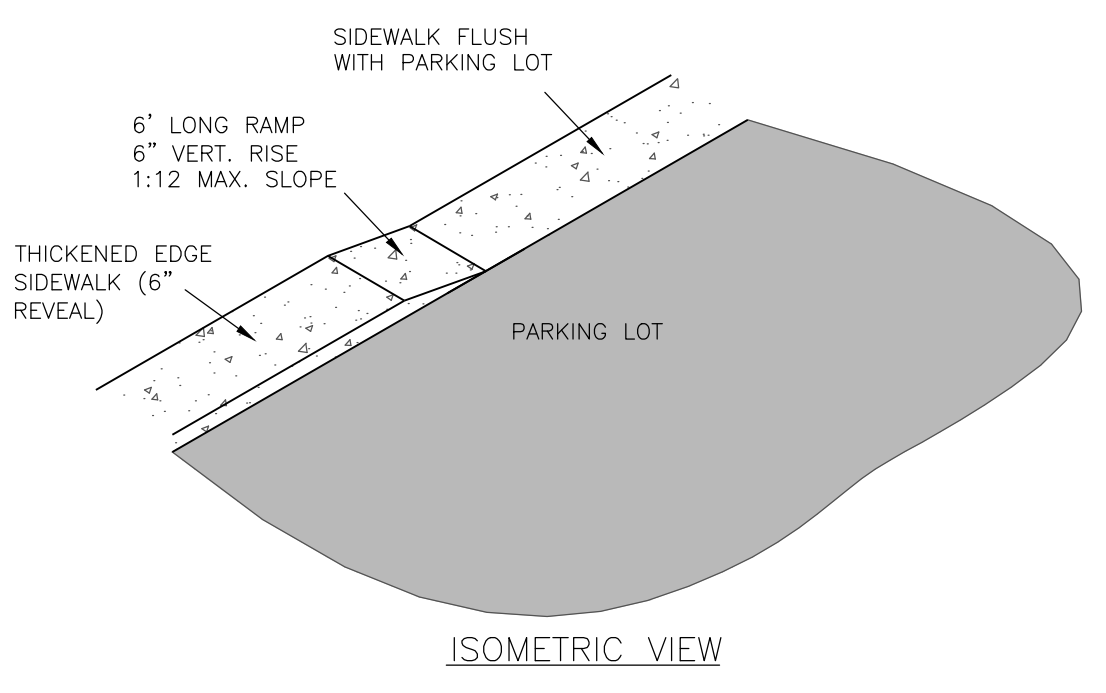
1
C6 **THICKENED EDGE WALK DETAIL**
NO SCALE



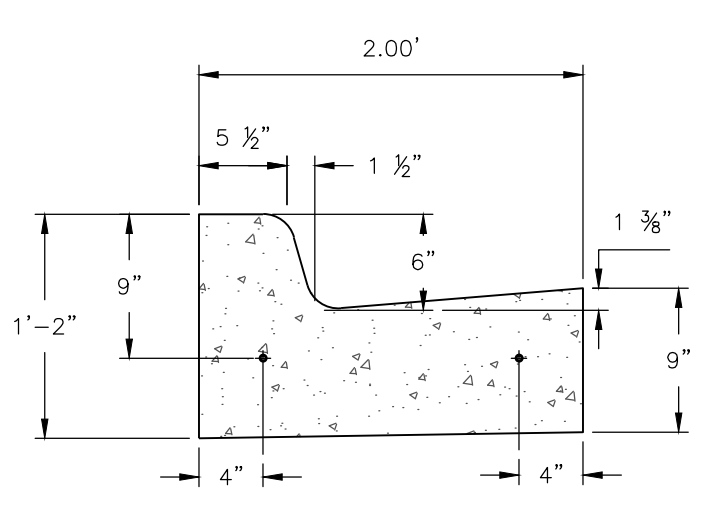
2
C6 **CONCRETE SIDEWALK**
SCALE: 1" = 5'



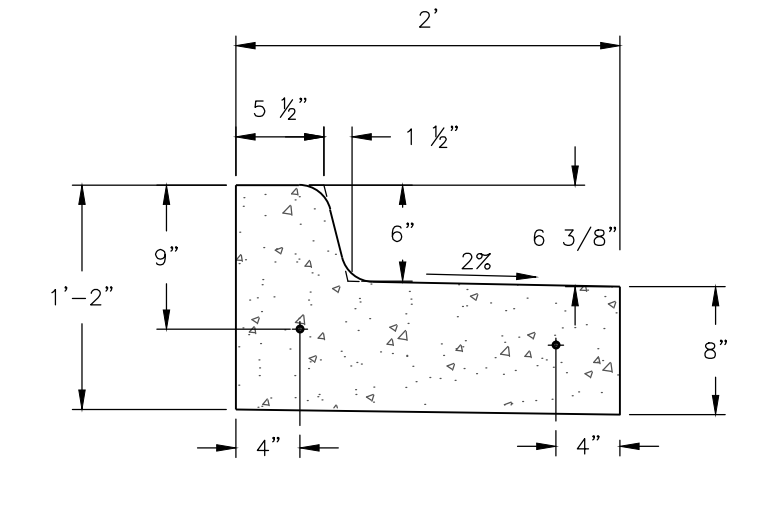
3
C6 **H.C. SIDEWALK RAMP & PARKING**
NO SCALE



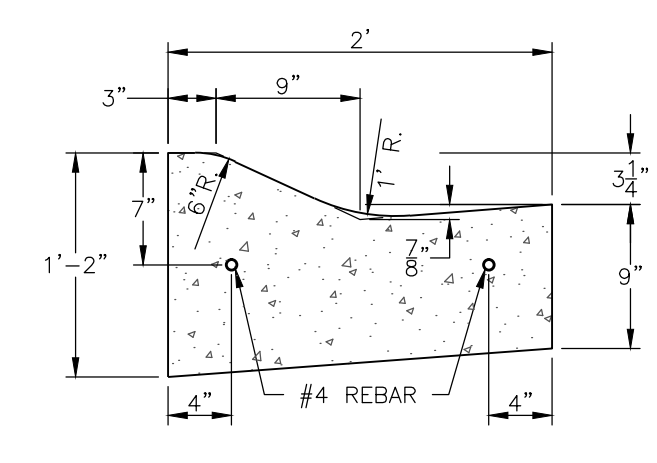
ISOMETRIC VIEW



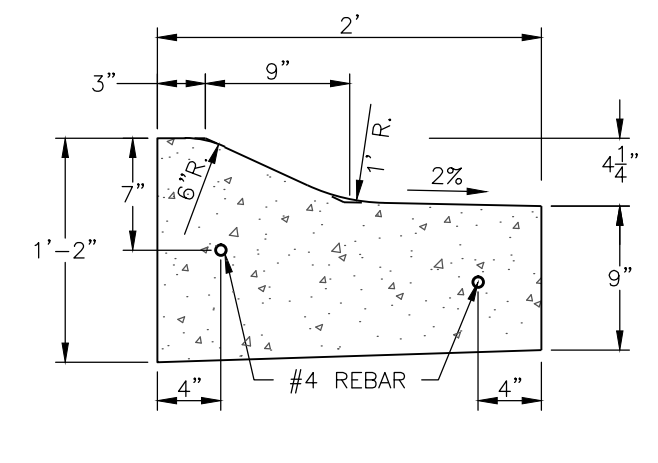
4
C6 **MDOT TYPE F4 CURB**
NO SCALE



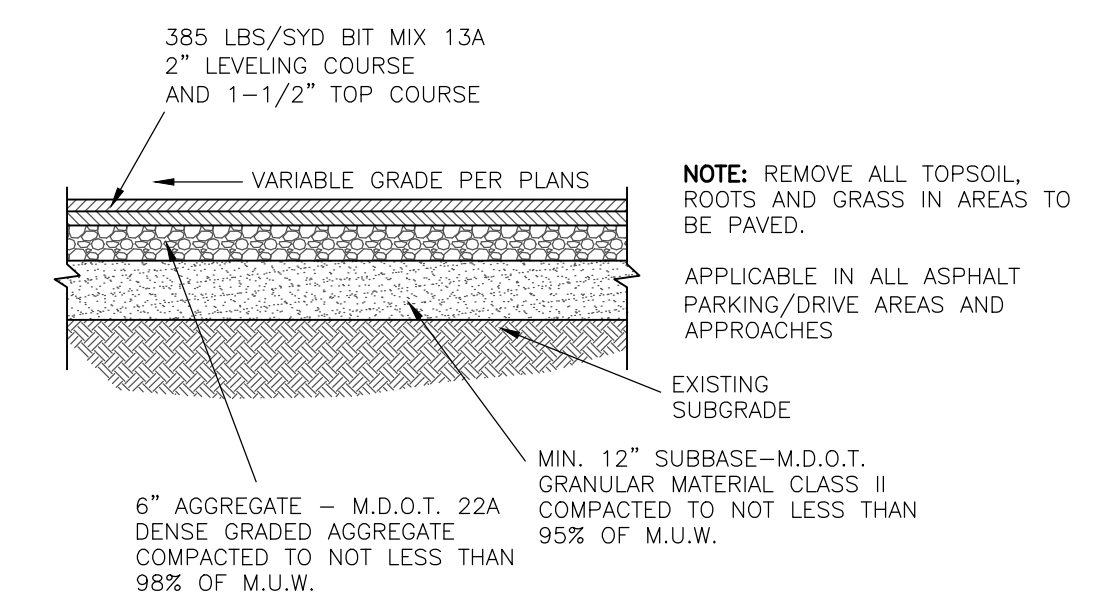
5
C6 **MDOT TYPE F4 CURB (MODIFIED)**
NO SCALE



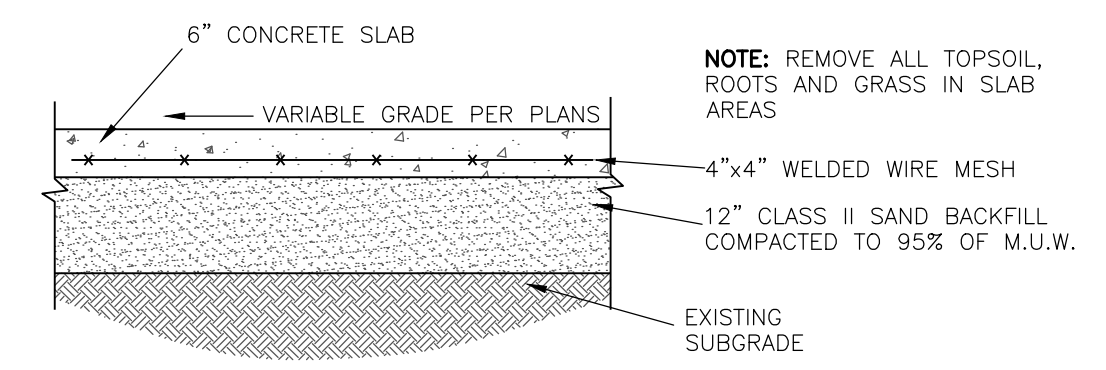
6
C6 **TYP. ROLLBACK CURB**
NO SCALE



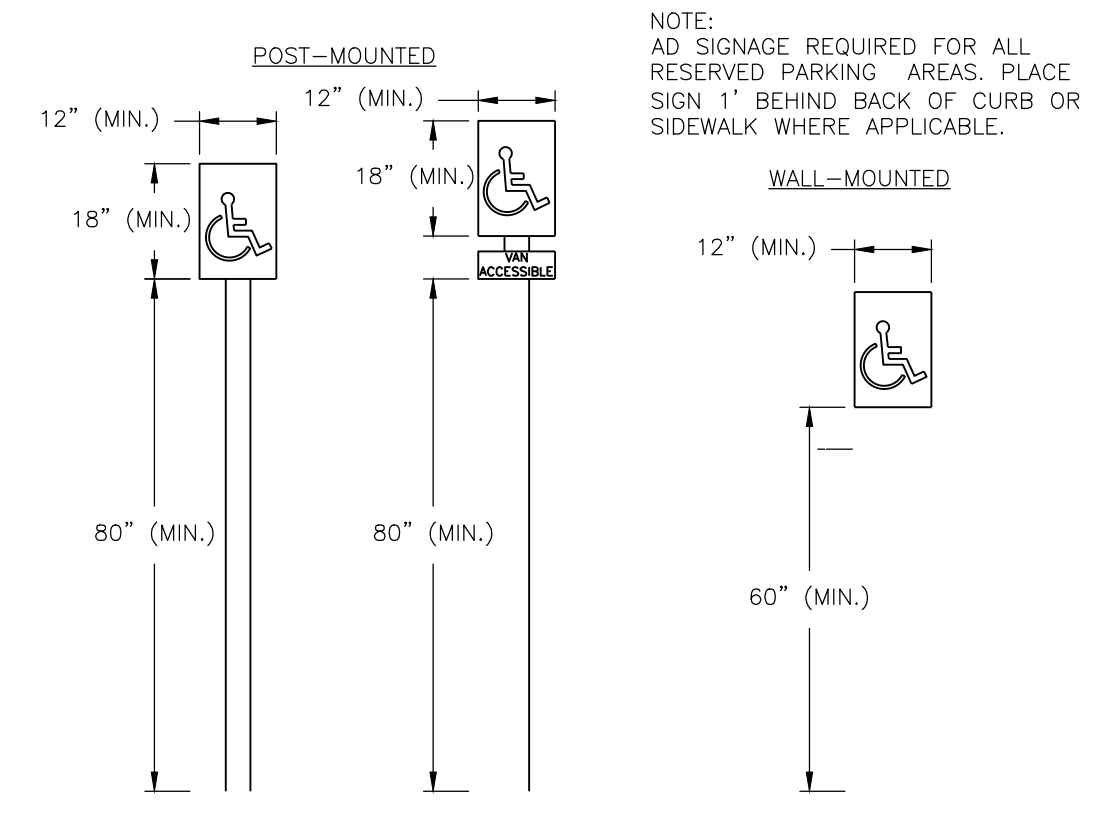
7
C6 **ROLLBACK CURB (MODIFIED)**
NO SCALE



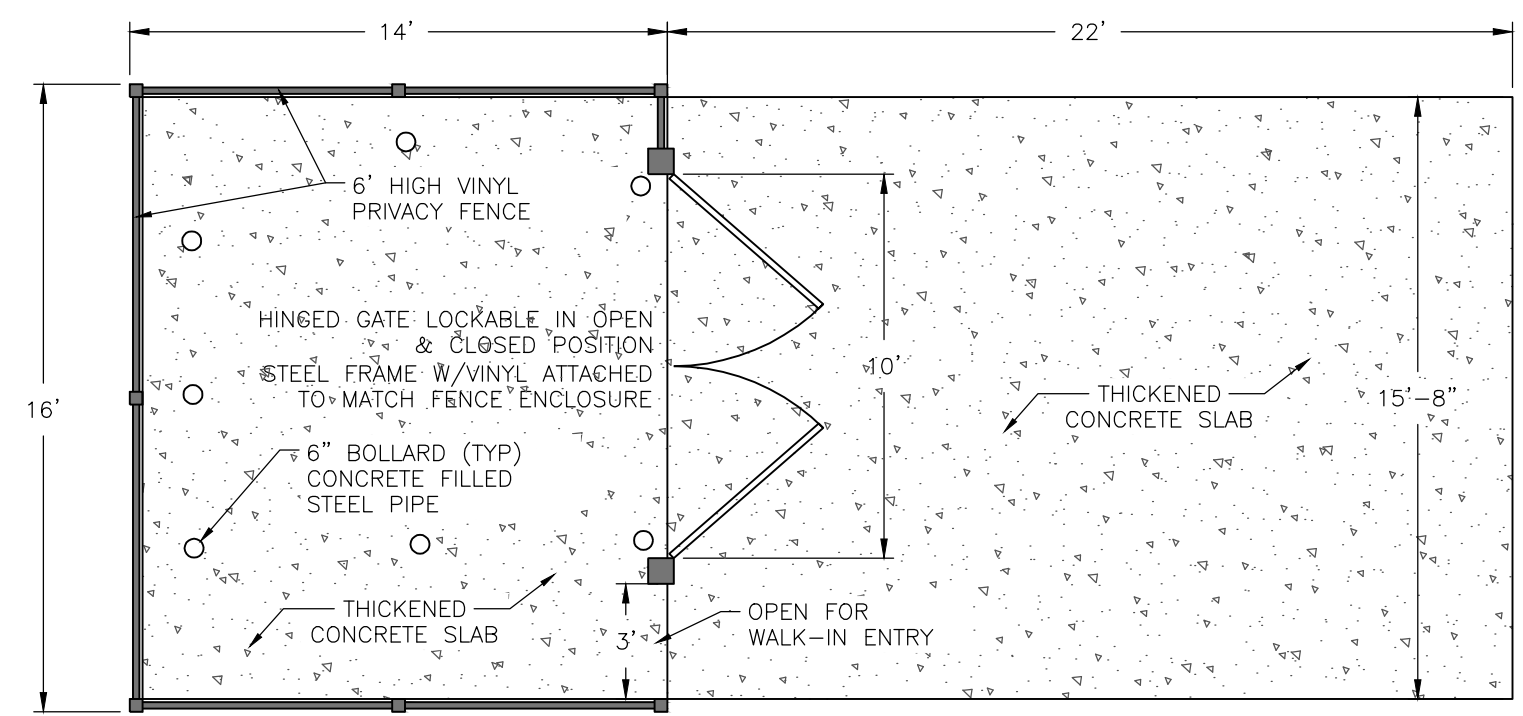
8
C6 **TYP. PAVEMENT SECTION**
NO SCALE



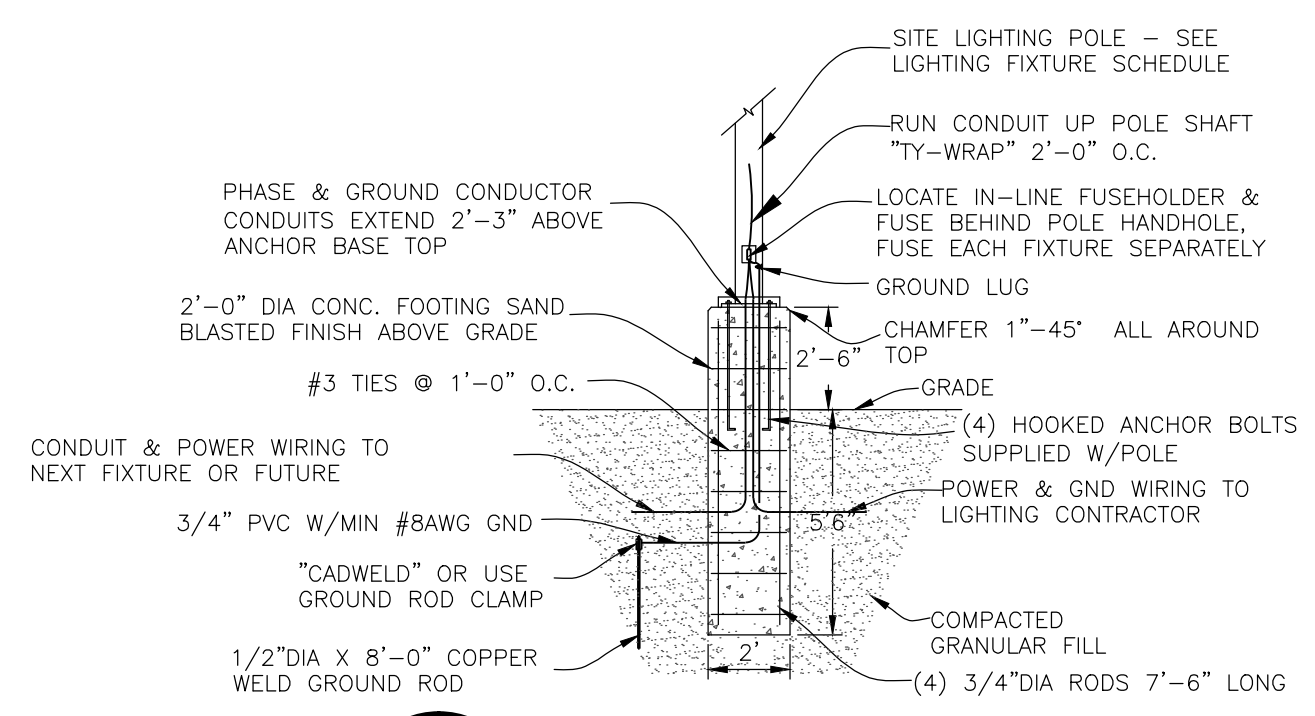
9
C6 **THICKENED CONCRETE SLAB**
NO SCALE



11
C6 **ADA SIGNAGE DETAIL**
NO SCALE



12
C6 **DUMPSTR ENCLOSURE**
1" = 5'



10
C6 **LIGHT POLE BASE**
NO SCALE

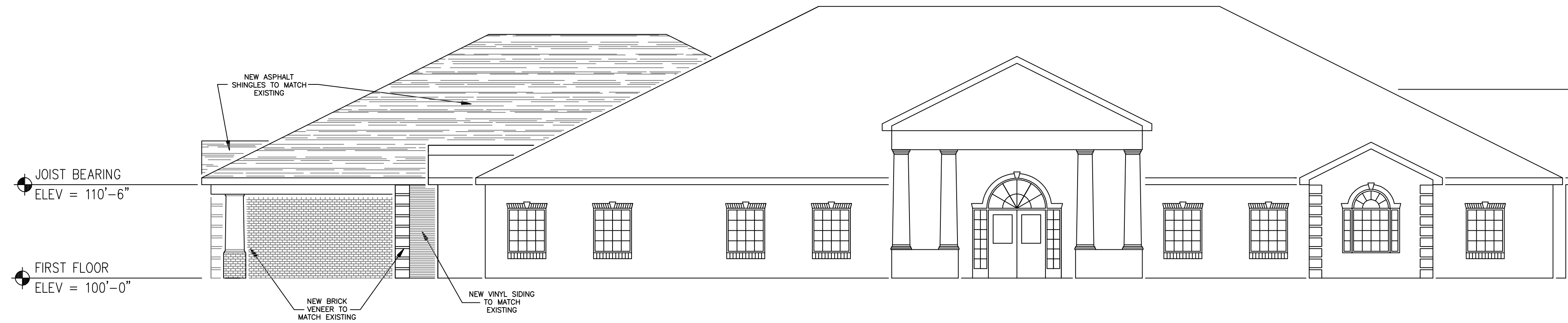
PLAN ISSUE:	
NO.	DESCRIPTION
1	DESIGN OF TOWNSHIP BUILDING AND PARKING LOT
2	REVISED BASED ON TOWNSHIP REVIEW

NO.	DATE	DESCRIPTION
1	07/18/16	DESIGN OF TOWNSHIP BUILDING AND PARKING LOT
2	10/01/16	REVISED BASED ON TOWNSHIP REVIEW

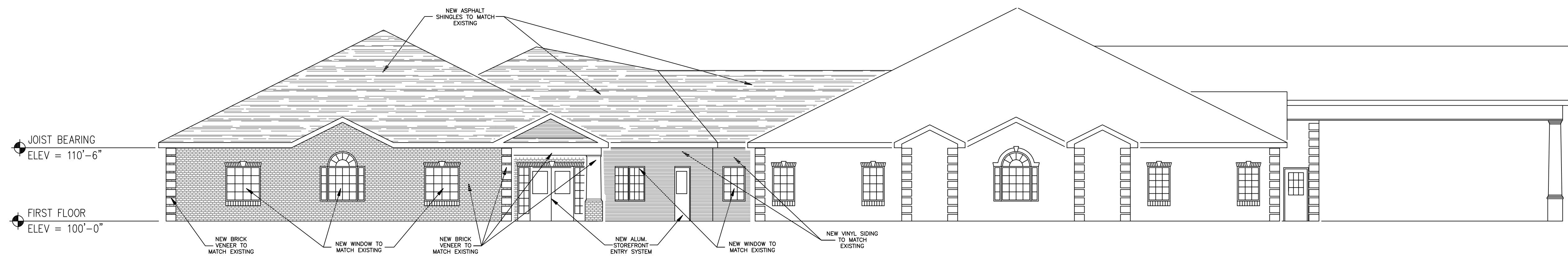
DETAILS
LUX FUNERAL HOME
Section 17, T14N., R4W, Union Township,
Isabella County, Michigan

LORENZ & SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-8659
plorenz@vmmel.net

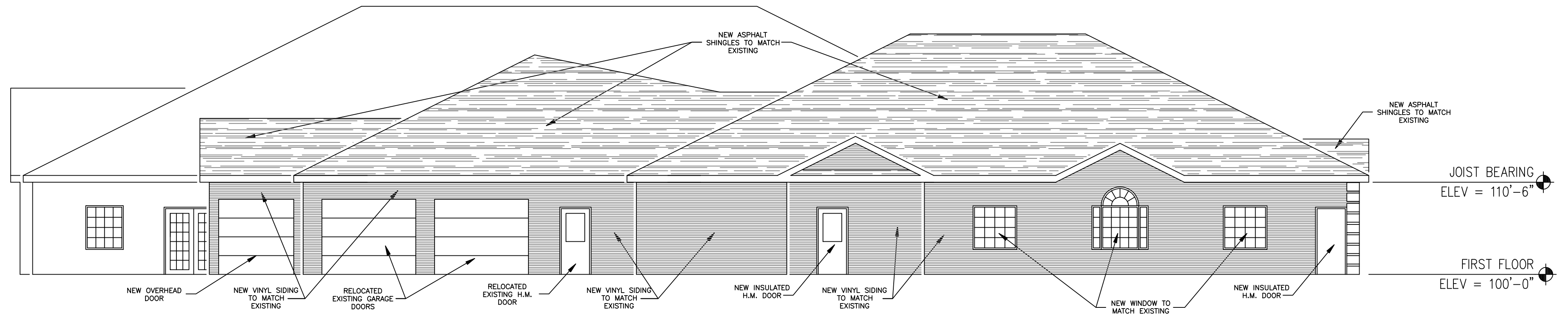
PROJECT NO.	150106
SCALE:	SHOWN
DRAWN BY:	TPL
DATE:	04/21/16
SHEET NO.	C6



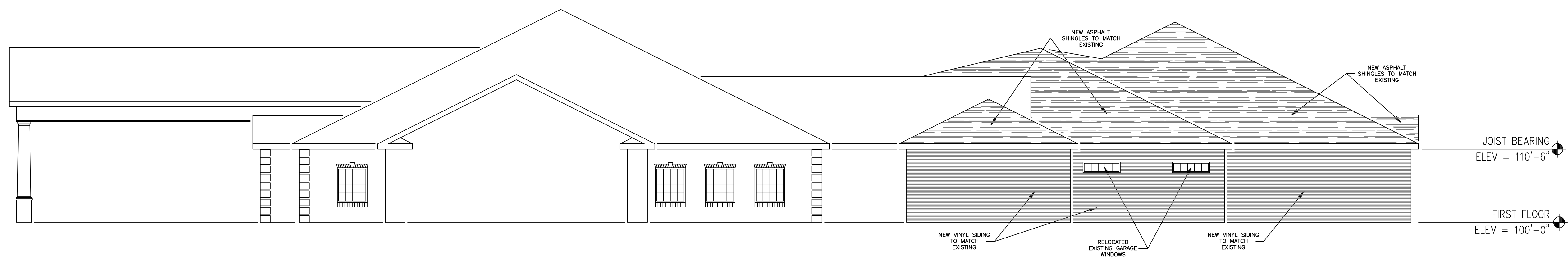
SOUTH ELEVATION
SCALE - 1/8" = 1'-0"



WEST ELEVATION
SCALE - 1/8" = 1'-0"



NORTH ELEVATION
SCALE - 1/4" = 1'-0"



EAST ELEVATION
SCALE - 1/4" = 1'-0"

J.JEN GROUP
FACILITY PLANNING - ARCHITECTURE
JOHN JENSEN, AIA
907 EAST MAPLE STREET
MT. PLEASANT, MI. 48858
PH. AND FAX: 989.779.0508
E-MAIL: JJ@JENGROUP.NET

JFH DRAFTING
JOSEPH HAUPT
5250 WEST BASELINE RD.
WEDDIAN, MI. 48853
PH. 989-621-8462
E-MAIL: JFH.DRAFTING@YAHOO.COM

**CHARLES R. LUX FAMILY FUNERAL HOME
LINCOLN RECEPTION CENTER ADDITION**
MT. PLEASANT, MICHIGAN 48858

PRELIMINARY	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
DRAWN BY	JFH
CHECKED BY	JFH
REVISIONS	
DATE	10/10/16
EXTERIOR ELEVATIONS	

SHEET NO.
A3